GENERAL NOTES:

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GRAFTON COUNTY ECONOMIC DEVELOPMENT COUNCIL

EDA GRANT #01-01-14168

ENTERPRISE CENTER at PLYMOUTH

PLYMOUTH, NEW HAMPSHIRE 03264

GENERAL NOTES

I, ALL WORK PERFORMED BY 1HE CONTRACTOR AND ALL SUB-CONTRACTORS OF 1HIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE BUILDING CODES (AND ANY AMENDMENTS), THE STATE OF NEW HAMPSHIRE LIFE SAFETY CODE (AND ANY AMENDMENTS), THE TOWN OF PLYMOLITH ZONING REGILATIONS,

2. ALL WORK TO COMPLY WITH ADA, ADAAG, LOCAL STATE & FEDERAL HANDICAPPED ACCESSIBILITY REQUIREMENTS.

3. THE CONTRACT LIMIT HAS BEEN INDICATED ON THE DRAWINGS, IF NO LIMIT HAS BEEN INDICATED THEN THE OWNER, ARCHITECT & GENERAL CONTRACTOR SHOULD REVIEW ON-SITE PRIOR TO CONSTRUCTION.

1. 1HE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING. THE CONTRACTOR SHALL BE SOLELY SHORING & SAFETY PROGRAMS REQUIRED TO COMPLETE THE WORK OF THIS CONTRACT, PROVIDE ALL TEMPORARY BRACING & SHORING NECESSARY TO SAFELY MAINTAIN THE STRUCTURAL INTEGRITY OF NEW AND EXISTING

ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE AL THE DRAWINGS BEFORE FABRICATION AND / OR INSTALLATION OF ANY WORK, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS.

PLIMBING. AND ELECTRICAL DRAWINGS AND SPECIFICATIONS. VERIFY LOCATION AND DIMENSIONS OF CHASES. SHOWN ON THE STRUCTURAL DRAWINGS, VERIFY AND COORDINATE ALL DIMENSIONS RELATED TO THIS PROJECT.

ONNECTION ASSEMBLIES. AND BEAM AND LIOIST HANGERS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. A BEEN REVIEWED AND APPROVED BY THE CONTRACTOR WILL BE RETURNED UNCHECKED TO THE CONTRACTOR FOR THEIR REVIEW AND APPROVAL, FAILURE TO SUBMIT SHOP DRAWINGS FOR THE REQUIRED MATERIALS SHALL RELIEVE TH SER OF RESPONSIBILITY AND LIABILITY FOR THOSE PARTS OF THE STRUCTURE AND ANY OTHER AFFECTED PART.

B. UNLESS OTHERWISE INDICATED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.

IO. IF THERE EXISTS CONFLICTS BETWEEN THE WORK INDICATED IN ANY OF THE DRAWINGS; AND / OR ANY CONFLICTS WITHIN THE SPECIFICATIONS: AND / OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS THE MORE COSILY OF THE CONFLICTING ALTERNATIVES SHALL BE INCLUDED IN THE BID OR PROPOSAL.

. THESE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK, THE CONTRACTOR MAY ENCOUNTER HIDDEN OR UNDISCOVERED CONDITIONS NOT SHOWN ON THESE DRAWINGS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION HEREIN

2. REFER TO THE SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION AND INSTRUCTIONS.

13. THE CONTRACTOR SHALL AT ALL TIMES PROTECT ALL WORK AND MATERIALS FROM DAMAGE DUE TO THE WEATHER. ALL WORK DAMAGED BY FAILURE TO PROVIDE PROPER PROTECTION SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

14. FIELD VERIFICATION: PRIOR TO SCHEDULING OF WORK AND COMMENCING CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS OF EQUIPMENT OR MATERIALS ON DRAWINGS.

15. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO STAKE OUT THE BUILDING LINES AND WORK REQUIRED UNDER THIS CONTRACT.

16. ALL EROSION AND SEDIMENTATION CONTROLS AS INDICATED IN THE CONTRACT DOCUMENTS MUST BE IN PLACE PRIOR TO THE START OF ANY EXTERIOR WORK, IF NO EROSION AND SEDIMENTATION CONTROLS ARE INDICATED THE CONTRACTOR IS TO INSTALL AND MAINTAIN E&S MEASURES AS PER LOCAL STATE AND FEDERAL REQUIREMENTS, IF LOCAL, STATE, AND FEDERAL REQUIREMENTS ARE MORE STRINGENT THAN THE CONTROLS THOSE INDICATED IN THE CONTRACT DOCUMENTS THEN THE MORE STRINGENT PROCEDURES SHALL APPLY.

7. LEGEND: ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

18. PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE, LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. SPECIFICATIONS AND GENERAL NOTES TAKE PRECEDENCE OVER

19. FRAMING: CONTRACTOR SHALL PROVIDE ALL REQUIRED BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT AS NECESSARY FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS, AND ALL OTHER ITEMS REQUIRING THE SAME. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH THE FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS, AND ALL OTHER ITEMS MFGR. AND INSTALLER AND REVIEW SHOP DRAWINGS FOR BACKING, LITILITIES

20. ACCESS PANELS: ALL EQUIPMENT SWITCHES, AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS REGARDLESS WHETHER OR NOT THEY ARE INDICATED IN THE DRAWINGS.

21. GLASS: ALL GLASS AND GLASS INSTALLATIONS TO CONFORM TO CONSUMER SAFETY COMMISSION, PRODUCT SAFETY ACT AND ALL CODE REQUIREMENTS

22. NO NEW FACILITIES OR EQUIPMENT INTENDED FOR THE PERMANENT INSTALLATION MAY BE USED FOR EMPORARY PURPOSES UNLESS THE CONTRACT DOCUMENTS SPECIFICALLY SPECIFIES THAT USE.

23. AYPSUM BOARP; CO-ORDINATE ALL AYPSUM BOARP WITH WALL SECTIONS. INSTALL MOISTURE RESISTANT AYP. BD. BEHIND SINKS, IN TOILET, JANITOR, MECHANICAL ROOMS, AND OTHER POTENTIALLY DAMP LOCATIONS.

24. ALL PARTITIONS ARE DIMENSIONED FROM FACE OF PARTITION FINISH (OR FACE OF MASONRY) TO FACE OF PARTITION FINISH UNLESS NOTED OTHERWISE.

25. ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURING OR ORDERING OF ALL DOOR, WINDOW, EQUIPMENT OR OTHER BUILDING PRODUCTS.

26. INSTALL RECESSED FIRE EXTINGUISHERS AT LOCATIONS DESIGNATED BY THE AGENCY HAVING JURISDICTION.

ABBREVIATIONS

AIR CONDITIONING ALTERNATE ALUM ALUMINUM APPROX APPROXIMATELY

BOTTOM OF BRITISH THERMAL UNIT CUBIC FEET PER MINUTE CEILING CENTERLINE CONCRETE MASONRY UNIT CONC CONCRETE CONT CONTINUOUS CO-ORD CO-ORDINATE CENTER

DIAMETER DIMENSION DOWN DISHWASHER DRAWING

D/W

ELEV

HORIZ

INSUL

MFR

MISC

N/A

NTS

STOR

ELECTRICAL ELEVATION EQUAL EXISTING

EXIST EXTERIOR FOUNDATION FINISH FACE FINISH FLOOR ELEVATION FLASH FLASHING FLOOR

F0011NG GALVANIZED GLAZING

GYPSUM WALL BOARD HORIZONTAL HEIGHT INSIDE DIAMETER

INSULATION INTERIOR MAXIMUM MECHANICAL MANUFACTURER

MINIMUM MISCELLANEOUS NOT APPLICABLE NOT TO SCALE ON CENTER OUTSIDE DIAMETER

OPPOSITE PERIMETER PLUMBING PLYWOOD PAINT / PAINTED

PRESSURE TREATED POLYVINYLCHLORIDE QUANTITY RADIUS REFERENCE RECP RECEPTACLE RE-INF RE-ENFORCE REQD REQUIRED

REFRIGERATOR / FREEZER ROUGH OPENING SCHEDULE SECTION SIMILAR SPECIFICATION STAINLESS STEEL STANDARD STORAGE

TEMPERATURE TONGLE & GROOVE 10P OF UNLESS OTHERWISE NOTED

VENTILATION VERTICAL WATER CLOSET W/ O

WITHOUT

CODE SUMMARY

NFPA 101-2012 Chapter 6-Classification of Occupancy

6.1.11 Business Occupancy- An occupancy used for the transaction of business other than

Occupancy: 9770/100sf (g) = 98 people, 595sf/15sfp(q) = 40 peopleAssembly: = 138 people Total load

Chapter 7-Means of Egress 7.1.3 Separation of means of egress Exit access corridors do not require I hour separation in accordance with 38.3.6.1(3)

Exits (including stairs) shall be protected with I hour separation in accordance with 7.1.3.2.1 (1) three or fewer stories. 7.1.4 Interior finish in exit enclosures

Wall and ceiling class A or B Floor finish not less than class II 7.1.5 Headroom-ceilings 7' 6", stairs 6' 8"

7.1.6 Walking Surface in earess

Walking surfaces shall be uniformly slip resistant under foreseeable condition. 7.2.1 Doors: Minimum width to be 32" required width calculated at level of discharge 138/2*.2=14" minimum. Provided width = 36" (all corridors/exit doors)

Door swing can be against direction of travel, in all areas except on floor with intended assembly space, in accordance with 7.2.1.4.2, occupant load under 50. 7.2.2 Stairs: Minimum width 44; calculated width= 70*.3= 21" for stairs

Stair width provided=56" (48" clear width) in accordance with area of retuge Walls within 10' of south stair unprotected openings to be 1hr construction, in accordance

Stair signage in accordance with 7.2.2.5.4. Elevator landings to have two-way communication system for communication with central control

point, in accordance with 7.2.12.1.2, with instructions posted adjacent to system Table 7.3.1.2 Business-100ftsg/person; Assembly-15ftsg/person Gross floor area / floor=9770(bus) / 100sf + 595(assem) / 15sf=138 occupants

Occupants/floor=35 w/o assembly; 68 w/ assembly Minimum required egress= $70 \times .3 = 21$ for stairs, $138 \times .2 = 28$ for all other

components 7.4 Number of Means of Egress Number of means of egress shall not be less than two, as per 7.4.1.1

7.5 Arrangement of Means of Egress Corridors that are not required to be fire resistance rated shall be permitted to discharge into open floor plan areas, as per 7.5.1.2.2 Separation distance between exits must be 1/3 building diagonal, 27', in accordance with

Two accessible means of egress will be provided in accordance with 7.5.4.1. 7.7.5 Exit/Egress signage in accordance with 7.2.2.5.4

7.8 Exit/Egress illumination in accordance with 7.8.1-7.8.2 7.9 Emergency lighting in accordance with 7.9.

7.10 Exit/Egress marking in accordance with 7.10.

Chapter 8 Features of Fire Protection

8.1-8.7 Fire walls, barriers, penetrations and openings all in accordance with 8.1-8.7 8.7.1.1 Protection from any area having a degree of hazard greater than that normal to the occupancy to be protected by one of the following: (2) automatic extinguishing system 8.7.1.2 New construction with automatic extinguishing system without fire resistive separation to be

Chapter 9 Building Services and Fire Protection Equipment

enclosed with smoke partition in accordance with 8.4

9.1-9.6 Fire protection, alarms and notification systems in accordance with 9.1-9.6 9.7 Building fully sprinklered with automatic system in accordance with

CH38 New Business Occupancy

Minimum construction type-no minimum construction type Construction type determined to be V-000, fully sprinklered (IBC equivalent V-A single means of exit is permitted for occ. load under 100, and travel distance 38.2.4.3 is less than 100'.

Common path of travel 100'; maximum dead end 50' Maximum travel distance (with sprinkler) 300' Hazardous areas including, but not limited to, areas used for boiler or fumace to be protected in accordance with 8.7

Travel distance to exit in sprinklered business class not to exceed 300'. 38.3.3.2.1 Class 'A' or 'B' interior wall finishes in exits and exit access corridors Class 'A', 'B' or 'C' in all other areas Interior exit enclosure floor finish to be Class I or II

38.3.6 (3) Exit access corridor shall not be separated from other areas where building is fully

CODE SUMMARY continued

<u> 1BC 2009</u> USE AND OCCUPANCY Chapter 3 304.1 Business Group B GENERAL BUILDING HEIGHTS AND AREAS NH Modification Business Building Type five-B (VB) three story (with sprinkler increase) and 7200sf/floor TYPES OF CONSTRUCTION Chapter 6 Fire resistance rating for building element: VB= Ohrs for primary structure, load bearing walls, non-load bearing interior walls, floor and secondary members, and roof and secondary members. Fire resistance-exterior walls, 'B' occupancy; less than 30' separation

FIRE AND SMOKE SEPERATION FEATURES

Fire resistance ratings: fire resistance rating of exteior walls with seperation greater than IO' shall be rated for exposure to fire from the inside (only) Table 705.8 Maximum area of exterior wall opening

North elevation: One hour separation, 10' to less than 15'. unprotected/sprinklered= 45% Actual= 98/2336= 4.1% West elevation: One hour separation, no limit to unprotected openings South elevation: no separation required East elevation: One hour separation, no limit to unprotected openings

four or more stories. 708.14.1(7) Enclosed elevator lobbies are not required where building is protected throughout with automatic sprinkler system. Fire doors for shafts, exit enclosure and exit passageway of Ihr requires Ihr door.

Means of Egress-superseded by NFPA 7 and 38.

Elevator shaft enclosures requires two hour rating, as per 708.4, for shafts

Chapter II Sixty percent of entrances shall be accessible except loading and service entrances that are not the only entrance.

SHEET LIST

Issue Date Revision I Issue Revision 2 Issue A O.I COVER SHEET 01-03-13 COONSTRUCTION ISSUE SITE PLAN 2 01/16/13 BASEMENT FLOOR PLAN COONSTRUCTION ISSUE 01-03-13 FIRST FLOOR PLAN COONSTRUCTION ISSUE 01-03-13 SECOND FLOOR PLAN COONSTRUCTION ISSUE 0|-03-|3 A 1.3 THIRD FLOOR PLAN COONSTRUCTION ISSUE 01-03-13 01-03-13 A I.4 ROOF PLAN COONSTRUCTION ISSUE A 2.0 BASEMENT CEILING PLAN Preliminary 04-30-13 FIRST FLOOR CEILING PLAN COONSTRUCTION ISSUE 01-03-13 A 2.2 SECOND FLOOR CEILING PLAN COONSTRUCTION ISSUE 01-03-13 A 2.3 THIRD FLOOR CEILING PLAN 01-03-13 COONSTRUCTION ISSUE A 3.1 BUILDING ELEVATIONS COONSTRUCTION ISSUE 01-03-13 A 3.2 BUILDING ELEVATIONS COONSTRUCTION ISSUE 01-03-13 A 4.1 BUILDING SECTIONS COONSTRUCTION ISSUE 0|-03-|3 A 4.2 BUILDING SECTIONS COONSTRUCTION ISSUE 01-03-13 A 4.3 BUILDING SECTIONS COONSTRUCTION ISSUE 01-03-13 A 5.0 WALL / FLOOR / ROOF TYPES COONSTRUCTION ISSUE 01-03-13 COONSTRUCTION ISSUE 01-03-13 A 5.1 WALL SECTIONS 01-03-13 A 5.2 WALL SECTIONS COONSTRUCTION ISSUE A 6.1 EXTERIOR DETAILS COONSTRUCTION ISSUE 01-03-13 A 6.2 EXTERIOR DETAILS 01-03-13 COONSTRUCTION ISSUE A 8.1 INTERIOR DETAILS - BATHROOMS CONSTRUCTION ISSUE 05-08-13 A 8.2 INTERIOR DETAILS - KITCHEN 05-08-13 A 8.3 INTERIOR DETAILS - STAIR I 01-03-13 A 8.4 INTERIOR DETAILS - STAIR I 01-03-13 A 8.5 INTERIOR DETAILS - STAIR 2 01-03-13 Preliminary 01-03-13 A 9.1 SCHEDULES COONSTRUCTION ISSUE SKETCH REV. OI 01/30/13 01.30.13 -01 STAIR ONE FLIGHT SUPPORT 06/18/13 06.18.14 SK 06/26/13 Stair I-exist/new 06.26.1 06/17/13 STAIR DETAILS 07.01.13

Cobb Hill Construction, Inc

206 North State Street--Concord, NH 03301 603-224-8373tel 603-224-0375 Jerry Kingwill, President; Claude Dupuis, Project Manager; Charles Savage, Site Supervisor

FOR AS-BUILT PURPOSES ONLY

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OWNER/ APPLICANT

GRAFTON COUNTY ECONOMIC DEVELOPMENT CORPORATION PO BOX 178 PLYMOUTH, NH 03264

OWNER REP.

STEVE WHEELOCK GRAFTON COUNTY ECONOMIC DEVELOPMENT CORPORATION PO BOX 178 PLYMOUTH, NH 03264

GEN. CONTRACTOR/ CONSULTANTS

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ALBA ARCHITECTS LLP 137 MAIN STREET NORTH WOODSTOCK, NH 03262

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HEB (CIVIL) ENGINEERS 2605 WHITE MOUNTAIN HIGHWAY PO Box 440 NORTH CONWAY, NH 03860

HEB (SURVEY) ENGINEERS 2605 WHITE MOUNTAIN HIGHWAY PO Box 440 NORTH CONWAY, NH 03860

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GENERAL NOTES:

REGULATIONS AND CODES.

CONSTRUCTION.

CONTRACT & CONTRACT DRAWINGS

I, ALL WORK PERFORMED BY THE CONTRACTOR AND ALL SUB-CONTRACTORS OF THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE BUILDING CODES (AND ANY AMENDMENTS), THE STATE OF NEW HAMPSHIRE LIFE SAPETY COPE (AND ANY AMENDMENTS), THE TOWN OF WOODSTOCK ZONING REGULATIONS, AND ALL OTHER

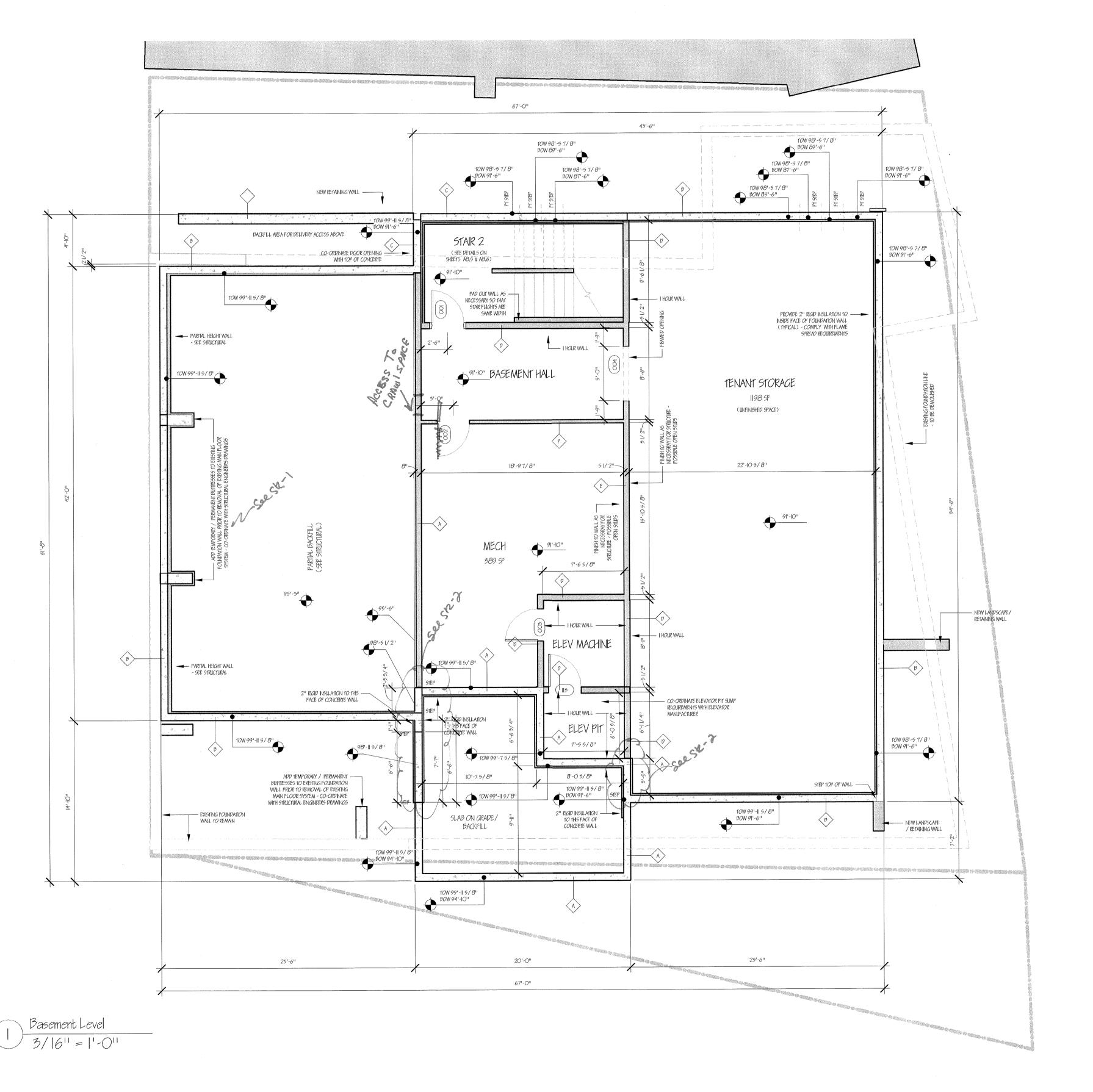
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SYSTEMS ARE INSTALLED & APPROVED BY THE OWNER OR

BUILDING CODE



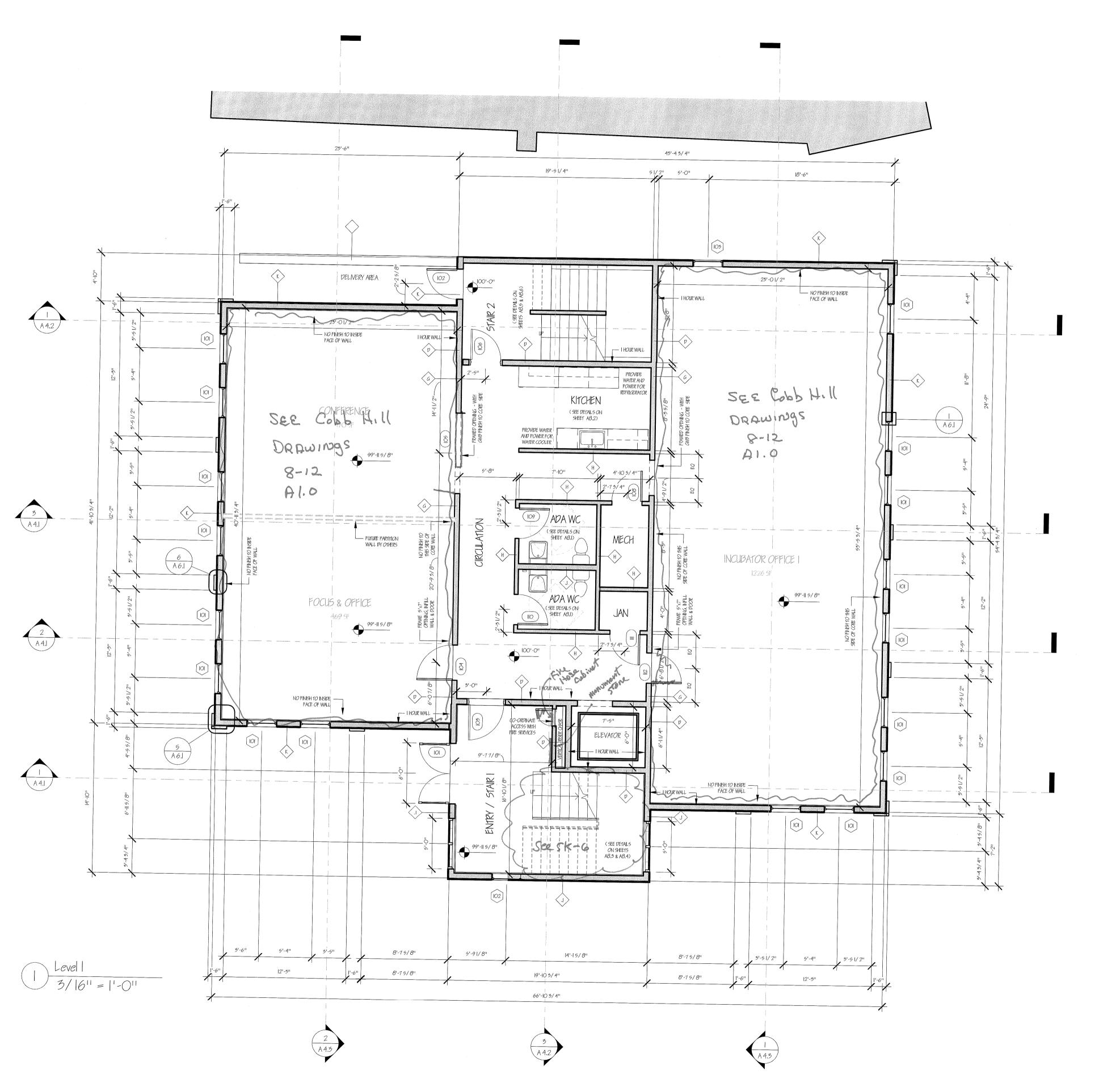
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5. COORDINATION: THE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE ALL THE DRAWINGS BEFORE FABRICATION AND/OR INSTALLATION OF ANY WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS. 6, ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWNGS AND SPECIFICATIONS, VERIFY LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS, VERIFY AND COORDINATE ALL DIMENSIONS RELATED TO THIS PROJECT, 7. LINLESS OTHERWISE INDICATED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS. 8. IF THERE EXISTS CONFLICTS BETWEEN THE WORK INDICATED IN ANY OF THE DRAWINGS; AND / OR ANY CONFLICTS WITHIN THE SPECIFICATIONS; AND / OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS THE MORE COSTLY OF THE CONFLICTING ALTERNATIVES SHALL BE INCLUDED IN THE BID OR PROPOSAL. 9, REFER TO THE SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION AND INSTRUCTIONS. LEGEND & PRECEDENCE IO, LECEND: ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION. II. PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE, LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS, SPECIFICATIONS AND GENERAL NOTES TAKE PRECEDENCE OVER DRAWINGS. ADDITIONAL MISC. NOTES 12. ACCESS PANELS: ALL EOLIPMENT SWITCHES, AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS REGARDLESS WHETHER OR NOT THEY ARE INDICATED IN THE 13, CLASS: ALL GLASS AND CLASS INSTALLATIONS TO CONFORM TO CONSUMER SAFETY COMMISSION, PRODUCT SAFETY ACT AND ALL CODE REQUIREMENTS 14. NO NEW FACILITIES OR EQUIPMENT INTENDED FOR THE PERMANENT INSTALLATION MAY BE USED FOR TEMPORARY PURPOSES UNLESS THE CONTRACT DOCUMENTS SPECIFICALLY SPECIFIES THAT USE. 15, ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURING OR ORDERING OF ALL POOR, WINDOW, EQUIPMENT OR OTHER BUILDING PRODUCTS. 16. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE 18, ENTIRE BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA 13, DRAWINGS, DESIGN AND SPEC TO BE PROVIDED PRIOR TO INSTALLATION. Copyright 2013 All Rights Reserved

PLAN

BASEMENT



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16. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NEPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS,

17. EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH

18, ENTIRE BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA 13. DRAWINGS, DESIGN AND SPEC TO BE PROVIDED PRIOR TO INSTALLATION,

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FLOOR PLAN

BEFORE FABRICATION AND / OR INSTALLATION OF ANY WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS, 6. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION
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ELECTRICAL DRAWINGS AND SPECIFICATIONS, VERIFY LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS. VERIFY AND COORDINATE ALL DIMENSIONS RELATED TO THIS PROJECT. 7. UNLESS OTHERMISE INPICATED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS. 8. IF THERE EXISTS CONFLICTS BETWEEN THE WORK INDICATED IN ANY OF THE DRAWINGS; AND/OR ANY CONFLICTS WITHIN THE SPECIFICATIONS; AND / OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS THE MORE COSTLY OF THE CONFLICTING ALTERNATIVES SHALL BE INCLUDED IN THE BID OR PROPOSAL. 9, REFER TO THE SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION AND INSTRUCTIONS, LEGEND & PRECEDENCE IO. LEGEND: ALL SYMBOLS AND ABBREVIATIONS LISED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION, II. PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE, LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS, SPECIFICATIONS AND GENERAL NOTES TAKE PRECEDENCE OVER DRAWINGS. ADDITIONAL MISC, NOTES 12. ACCESS PANELS: ALL EQUIPMENT SWITCHES, AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS REGARDLESS WHETHER OR NOT THEY ARE INDICATED IN THE 13. GLASS: ALL GLASS AND GLASS INSTALLATIONS TO CONFORM TO CONSUMER SAFETY COMMISSION, PRODUCT SAFETY ACT AND ALL CODE REQUIREMENTS 14. NO NEW FACILITIES OR EQUIPMENT INTENDED FOR THE PERMANENT INSTALLATION MAY BE USED FOR TEMPORARY PURPOSES UNLESS THE CONTRACT DOCUMENTS SPECIFICALLY SPECIFIES THAT LISE, 15. ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURING OR ORDERING OF ALL DOOR, WINDOW, EQUIPMENT OR OTHER BUILDING PRODUCTS, 16. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE 17. EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH 18. ENTIRE BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA 15. DRAWINGS, DESIGN AND SPEC TO BE PROVIDED PRIOR TO INSTALLATION.

GENERAL NOTES:

REGULATIONS AND CODES.

CONTRACT & CONTRACT DRAWINGS

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2. ALL WORK TO COMPLY WITH ADA, ADAAG, LOCAL STATE & FEDERAL HANDICAPPED ACCESSIBILITY REQUIREMENTS.

3. THE CONTRACT LIMIT HAS BEEN INDICATED ON THE DRAWINGS, IF NO LIMIT HAS BEEN INDICATED THEN THE OWNER, ARCHITECT & CENERAL CONTRACTOR SHOULD REVIEW ON-SITE PRIOR TO CONSTRUCTION.

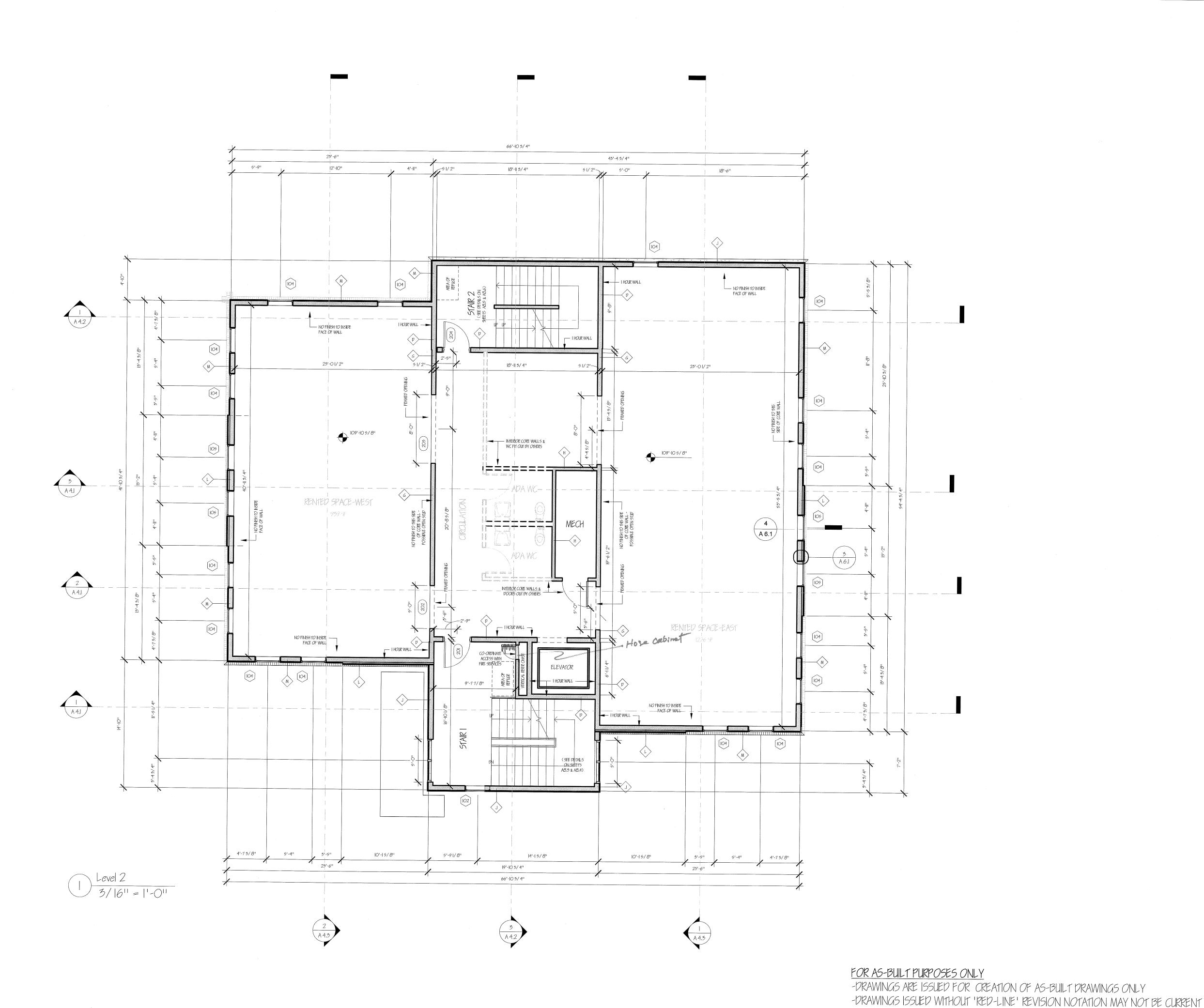
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COMPLETE THE WORK OF THIS CONTRACT, PROVIDE ALL TEMPORARY BRACING & SHORING NECESSARY TO SAFELY

MAINTAIN THE STRUCTURAL INTEGRITY OF NEW AND EXISTING

BUILDING CODE



GENERAL NOTES: BUILDING CODE

REGULATIONS AND CODES,

CONTRACT & CONTRACT DRAWINGS

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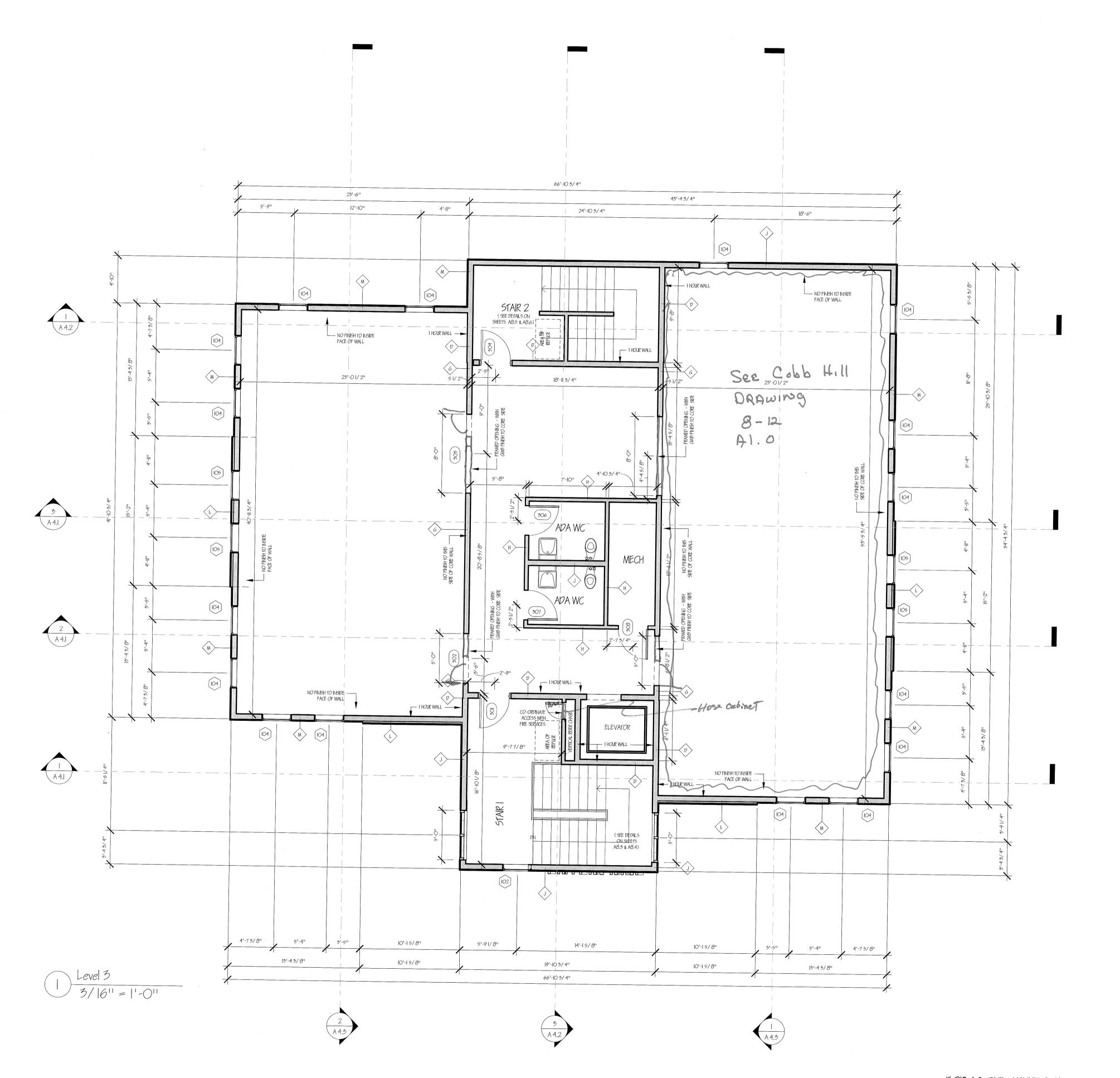
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LEGEND & PRECEDENCE

ADDITIONAL MISC. NOTES

SPECIFIES THAT LISE,

CLARIFICATION.



FOR AS-BUILT PURPOSES ONLY

-DRAWINGS ARE ISSUED FOR CREATION OF AS-BUILT DRAWINGS ONLY -DRAWINGS ISSUED WITHOUT 'RED-LINE' REVISION NOTATION MAY NOT BE CURRENT

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PETAINING WALL & PAILING BELOW ——— ANTICIPATED GUTTER LOCATION L _ _ _ _ _ _ 4" / 1'-0" 1/4"/1'-0" PVC MEMBRANE (TYPICAL TO WING ROOF SECTION) ____**>** PVC MEMBRANE (TYPICAL TO WING ROOF SECTION) ASPHALT SHINGLE (TYPICAL TO CORE ROOF SECTION) ——— ANTICIPATED GUTTER LOCATION ———

FOR AS-BUILT PURPOSES ONLY

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|-----|======== SHEETROCK CEILING SMOKE BARRIER CONSTRUCTION ELEV MACHINE SHEETROCK CEILING I HR RATED CONSTRUCTION ELEV PIT SLAB ON GRADE ABOVE, Basement Level - Reflected Ceiling

1/4" = 1'-0" FOR AS-BUILT PURPOSES ONLY -DRAWINGS ARE ISSUED FOR CREATION OF AS-BUILT DRAWINGS ONLY -DRAWINGS ISSUED WITHOUT 'RED-LINE' REVISION NOTATION MAY NOT BE CURRENT

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BASEMENT CEILING PLAN

<u>CEILING FINISH</u> SHEETROCK TO U/S OF LANDING SEE Cobb Hill RCP 9/3/13 FUTURE CEILING -8'8" ABOVE FFL
(noted for rough in purposes only) FUTURE CEILING -8' 8" ABOVE FFL (noted for rough-in purposes only) SEE COBB H.11

RCP 9/3/13

Al. 1 FUTURE PARTITION
WALL BY OTHERS —ADA WC— CEILING -8' ABOVE FFL (noted for rough-in purposes only. ENTRY / STAIR I <u>CEILING FINISH</u> SHEETROCK 10 U/ S OF LANDING L========

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ICCI IE DATE

GENERAL NOTES:

GENERAL NOTES: CELING FINISH
SHEETROCK TO U/ 5 OF LANDING **NO CELLING FINISH** STRUCTURE EXPOSED (grid shown for rough-in purposes only) FUTURE CEILING -8' ABOVE FFL (noted for rough-in purposes anly) INTERIOR CORE WALLS & WC FIT OUT BY OTHERS FUTURE CEILING -8'8" ABOVE FFL
(noted for rough-in purposes only) FUTURE CEILING -8'8" ABOVE FFL (noted for rough-in purposes only) ADA WC NO CEILING FINISH

STRUCTURE EXPOSED

(and shown for rough in purposes only) L— FUTURE PLUMBING
WALL BY OTHERS ADA WC <u>FUTURE CEILING -8' ABOVE FFL</u> NO CEILING FINISH STRUCTURE EXPOSED (grid shown for rough-in purposes only) STAIR I **CEILING FINISH** SHEETROCK 10 U/ S OF LANDING Level 2 - Ceiling Plan 1/4'' = 1'-0''FOR AS-BUILT PURPOSES ONLY -DRAWINGS ARE ISSUED FOR CREATION OF AS-BUILT DRAWINGS ONLY -DRAWINGS ISSUED WITHOUT 'RED-LINE' REVISION NOTATION MAY NOT BE CURRENT

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STAIR 2 <u>CEILING FINISH</u> SHEETROCK @ 9' PROM FINISH FLOOR I HR RATED CONSTRUCTION FUTURE CEILING -8'8" ABOVE FFL (noted for rough-in purposes only) FUTURE CEILING -8'8" ABOVE FFL
(noted for rough-in purposes only) See Cobb Hill RCP Al.O Dated 8/10/13 -ADA WC-CEILING -8' ABOVE FF (noted for rough-in purposes grily) STAIR I <u>CEILING FINISH</u> SHEETROCK TO U/ 5 OF TRUSSES I HR RATED CONSTRUCTION

3 | 4 | 5 | 6 | 1

Copyright 2013 All Rights Reserved 23 THIRD FLOOR CEILING PLAN

GENERAL NOTES:

FOR AS-BUILT PURPOSES ONLY

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GENERAL NOTES:

REGULATIONS AND CODES.

CONTRACT & CONTRACT DRAWINGS

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NOTES TAKE PRECEDENCE OVER DRAWINGS.

ADDITIONAL MISC. NOTES

BUILDING CODE

CONSTRUCTION,

ARCHITECT.

DISCREPANCIES OR ERRORS.

LEGEND & PRECEDENCE

- NICHIHA ARCHITECTURAL BLOCK-MOCHA
INSTALLED ON PROPRIETERY 3/ RII
'LYHI AFED C.'

VENTILATED STRAPPING

- ALIGN WINDOWS WITH WINDOW

BELOW - TYPICAL .

- NICHIHA PLYMOUTH BRICK, CRIMSON (PANELS AND PIERS) INSTALLED ON PROPRIETERY 3/8"

VENTILATED STRAPPING

- ALIGN WINDOWS WITH WINDOW BELOW - TYPICAL

— NICHIPANEL EMPIRE BLOCK

- NICHIPANEL EMPIRE BLOCK

FOR AS-BUILT PURPOSES ONLY -DRAWINGS ARE ISSUED FOR CREATION OF AS-BUILT DRAWINGS ONLY

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INSTALLED ON PROPRIETERY 3/8"
VENTILATED STRAPPING

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NICHHA ARCHITECTURAL BLOCK-MOCHA INSTALLED ON PROPRIETERY 3/8" VENTILATED STRAPPING

(PANELS AND PIERS) INSTALLED ON PROPRIETERY 3/8"

ALIAN WINDOWS WITH WINDOW BELOW - TYPICAL -

NICHIPANEL EMPIRE BLOCK ----

NICHIPANEL EMPIRE BLOCK INSTALLED ON PROPRIETERY 3/8" VENTILATED STRAPPING

BELOW - TYPICAL -

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BUILDING

PROJECT NAME & ADDRESS:
PLYMOUTH ENTERPRISE (

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SPECIFIES THAT LISE,

14. NO NEW FACILITIES OR EQUIPMENT INTENDED FOR THE PERMANENT INSTALLATION MAY BE USED FOR TEMPORARY PURPOSES LINLESS THE CONTRACT DOCUMENTS SPECIFICALLY

15, ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURING OR ORDERING OF ALL DOOR, WINDOW, EQUIPMENT OR OTHER BUILDING PRODUCTS.

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GENERAL NOTES: BUILDING CODE

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ADDITIONAL MISC. NOTES

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Copunisht 2013 All Rights Reserved ELEVATIONS BUILDING

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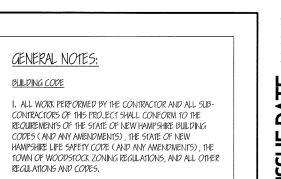
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ALIGN WINDOWS WITH WINDOW BELOW - TYPICAL

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ALIGN WINDOWS WITH WINDOW BELOW - TYPICAL

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GENERAL NOTES:

REGULATIONS AND CODES.

CONTRACT & CONTRACT DRAWINGS

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SAFETY ACT AND ALL CODE REQUIREMENTS

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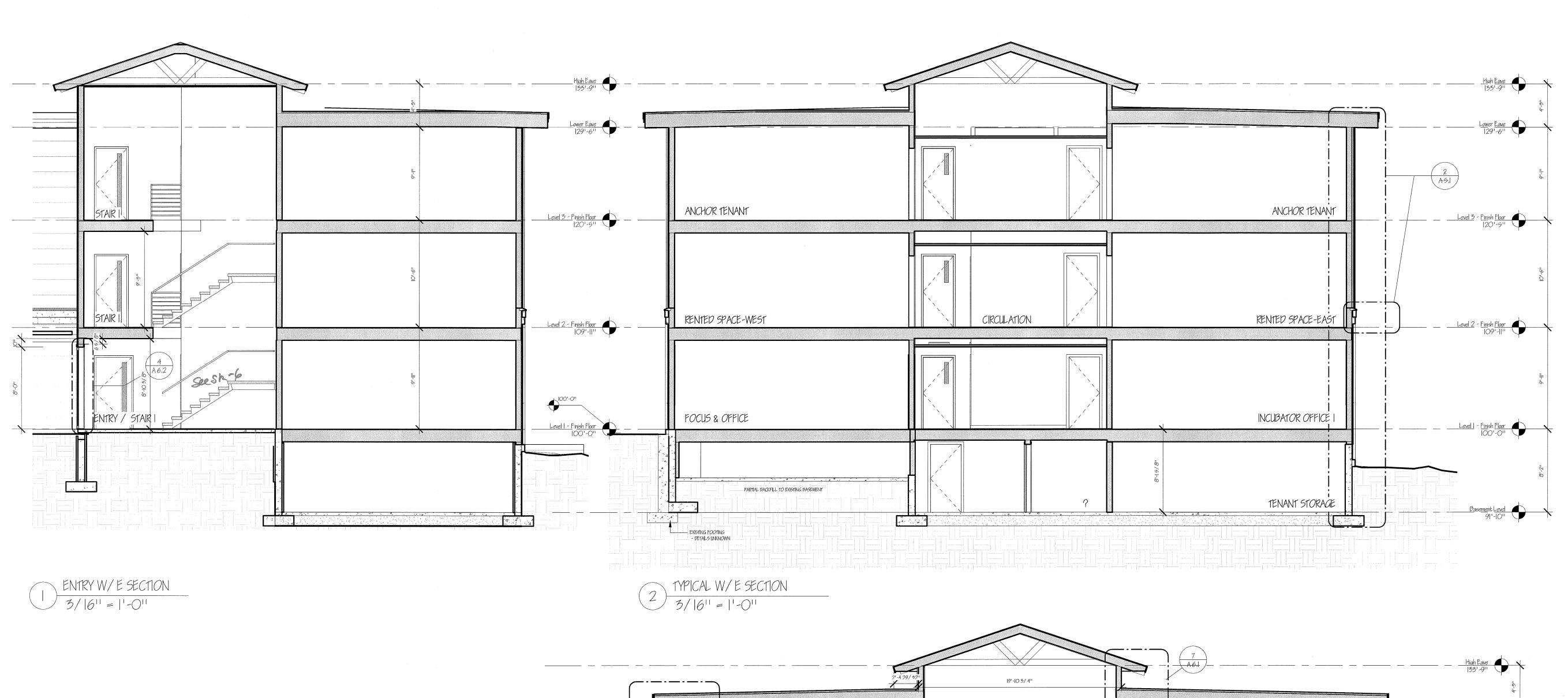
LEGEND & PRECEDENCE

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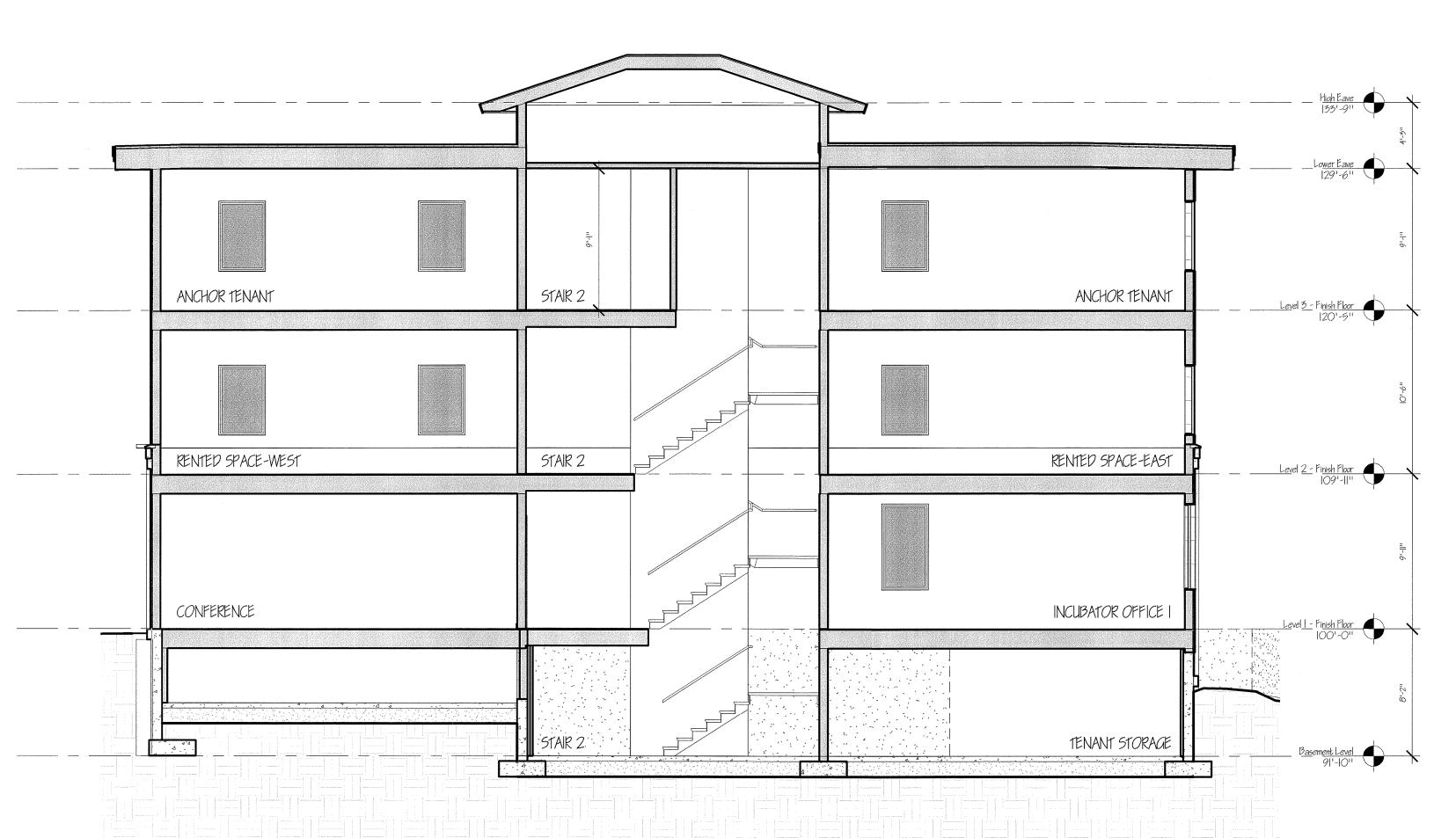
BUILDING CODE



ANCHOR TENANT RENTED SPACE-WEST RENTED SPACE-EAST INCUBATOR OFFICE I TENANT STORAGE MECH

FOR AS-BUILT PURPOSES ONLY

4



STAIR 2 See SK-6 ANCHOR TENANT $\begin{pmatrix} 1 \\ A5.2 \end{pmatrix}$ STAIR I ENTRY / STAIR I

FOR AS-BUILT PURPOSES ONLY -DRAWINGS ARE ISSUED FOR CREATION OF AS-BUILT DRAWINGS ONLY -DRAWINGS ISSUED WITHOUT 'RED-LINE' REVISION NOTATION MAY NOT BE CURRENT GENERAL NOTES: BUILDING CODE

I. ALL WORK PERFORMED BY THE CONTRACTOR AND ALL SUB-CONTRACTORS OF THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE BUILDING CODES (AND ANY AMENDMENTS), THE STATE OF NEW HAMPSHIRE LIFE SAFETY CODE (AND ANY AMENDMENTS), THE TOWN OF WOODSTOCK ZONING REGULATIONS, AND ALL OTHER REGULATIONS AND CODES,

2. ALL WORK TO COMPLY WITH ADA, ADAAG, LOCAL STATE & FEDERAL HANDICAPPED ACCESSIBILITY REQUIREMENTS. CONTRACT & CONTRACT DRAWINGS

3, THE CONTRACT LIMIT HAS BEEN INDICATED ON THE DRAWINGS. IF NO LIMIT HAS BEEN INDICATED THEN THE OWNER, ARCHITECT & GENERAL CONTRACTOR SHOULD REVIEW ON-SITE PRIOR TO CONSTRUCTION.

4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT PRAWNICS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE AFTENTION OF THE ARCHITECT BEFORE PROCEEDING. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEPURES, SHORING & SAFETY PROGRAMS REQUIRED TO COMPLETE THE WORK OF THIS CONTRACT, PROVIDE ALL TEMPORARY BRACING & SHORING NECESSARY TO SAFELY MAINTAIN THE STRUCTURAL INTEGRITY OF NEW AND EXISTING CONSTRUCTION LINTIL ALL STRUCTURAL COMPONENTS AND SYSTEMS ARE INSTALLED & APPROVED BY THE OWNER OR

5. COORDINATION: THE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE
ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE ALL THE DRAWINGS BEFORE FABRICATION AND / OR INSTALLATION OF ANY WORK, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS,

6. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS, VERIFY LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, DEPRESSIONS, AND OTHER PROJECT

REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS, VERIFY AND COORDINATE ALL DIMENSIONS RELATED TO THIS 7. UNLESS OTHERWISE INDICATED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS. 8. IF THERE EXISTS CONFLICTS BETWEEN THE WORK INDICATED IN ANY OF THE DRAWINGS; AND/OR ANY CONFLICTS WITHIN THE

SPECIFICATIONS; AND/OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS THE MORE COSTLY OF THE CONFLICTING ALTERNATIVES SHALL BE INCLUDED IN THE BID OR PROPOSAL, 9. REFER TO THE SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION AND INSTRUCTIONS.

LEGEND & PRECEDENCE 10. LEGEND: ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR

CLARIFICATION, II. PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE, LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS, SPECIFICATIONS AND GENERAL NOTES TAKE PRECEDENCE OVER DRAWINGS.

ADDITIONAL MISC, NOTES 12. ACCESS PANELS: ALL EQUIPMENT SWITCHES, AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS REGARDLESS WHETHER OR NOT THEY ARE INDICATED IN THE

13. ALASS: ALL ALASS AND ALASS INSTALLATIONS TO CONFORM TO CONSUMER SAFETY COMMISSION, PRODUCT SAFETY ACT AND ALL CODE REQUIREMENTS 14. NO NEW FACILITIES OR EQUIPMENT INTENDED FOR THE PERMANENT INSTALLATION MAY BE USED FOR TEMPORARY PURPOSES LINLESS THE CONTRACT DOCUMENTS SPECIFICALLY

15. ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURING OR ORDERING OF ALL DOOR, WINDOW, EQUIPMENT OR OTHER BUILDING PRODUCTS.

16. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NIFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 17, EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH

SPECIFIES THAT USE.

18. ENTIRE BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA 13. DRAWINGS, DESIGN AND SPEC TO BE PROVIDED PRIOR TO INSTALLATION.

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4.2

SECTIONS BUILDING

<u>GENERAL NOTES:</u>

I. ALL WORK PERFORMED BY THE CONTRACTOR AND ALL SUB-CONTRACTORS OF THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE BUILDING CODES (AND ANY AMENDMENTS) . THE STATE OF NEW HAMPSHIRE LIFE SAFETY CODE (AND ANY AMENDMENTS), THE TOWN OF WOODSTOCK ZONING REGULATIONS, AND ALL OTHER

2. ALL WORK TO COMPLY WITH ADA, ADAAG, LOCAL STATE & FEDERAL HANDICAPPED ACCESSIBILITY REQUIREMENTS.

CONTRACT & CONTRACT DRAWINGS

3. THE CONTRACT LIMIT HAS BEEN INDICATED ON THE DRAWINGS. IF NO LIMIT HAS BEEN INDICATED THEN THE OWNER, ARCHITECT & GENERAL CONTRACTOR SHOULD REVIEW ON-SITE PRIOR TO CONSTRUCTION.

4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING , THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SHORING & SAFETY PROGRAMS REQUIRED TO COMPLETE THE WORK OF THIS CONTRACT, PROVIDE ALL TEMPORARY BRACING & SHORING NECESSARY TO SAFELY MAINTAIN THE STRUCTURAL INTEGRITY OF NEW AND EXISTING CONSTRUCTION UNTIL ALL STRUCTURAL COMPONENTS AND SYSTEMS ARE INSTALLED & APPROVED BY THE OWNER OR

5. COORDINATION: 1HE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE ALL THE DRAWINGS BEFORE FABRICATION AND / OR INSTALLATION OF ANY WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS.

6. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SITE, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS, VERIFY LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, WASHES, DRIPS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS, VERIFY AND COORDINATE ALL DIMENSIONS RELATED TO THIS

CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.

8. IF THERE EXISTS CONFLICTS BETWEEN THE WORK INDICATED IN ANY OF THE DRAWINGS; AND / OR ANY CONFLICTS WITHIN THE SPECIFICATIONS; AND / OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS THE MORE COSTLY OF THE CONFLICTING ALTERNATIVES SHALL BE INCLUDED IN THE BID OR PROPOSAL.

9. REFER TO THE SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION AND INSTRUCTIONS.

IO. LEGEND: ALL SYMBOLS AND ABBREVIATIONS USED ON THE CONTRACTOR HAS ANY QUESTIONS REGARDING THE SAME OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.

II. PRECEDENCE: DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE, LARGER SCALE DRAWINGS HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS, SPECIFICATIONS AND GENERAL NOTES TAKE PRECEDENCE OVER DRAWINGS.

ADDITIONAL MISC. NOTES

12. ACCESS PANELS: ALL EQUIPMENT SWITCHES, AND VALVES THAT ARE CONCEALED MUST BE PROVIDED WITH ACCESS PANELS REGARDLESS WHETHER OR NOT THEY ARE INDICATED IN THE

13. GLASS: ALL GLASS AND GLASS INSTALLATIONS TO CONFORM TO CONSUMER SAFETY COMMISSION, PRODUCT SAFETY ACT AND ALL CODE REQUIREMENTS

14. NO NEW FACILITIES OR EQUIPMENT INTENDED FOR THE PERMANENT INSTALLATION MAY BE USED FOR TEMPORARY
PURPOSES UNLESS THE CONTRACT DOCUMENTS SPECIFICALLY SPECIFIES THAT USE.

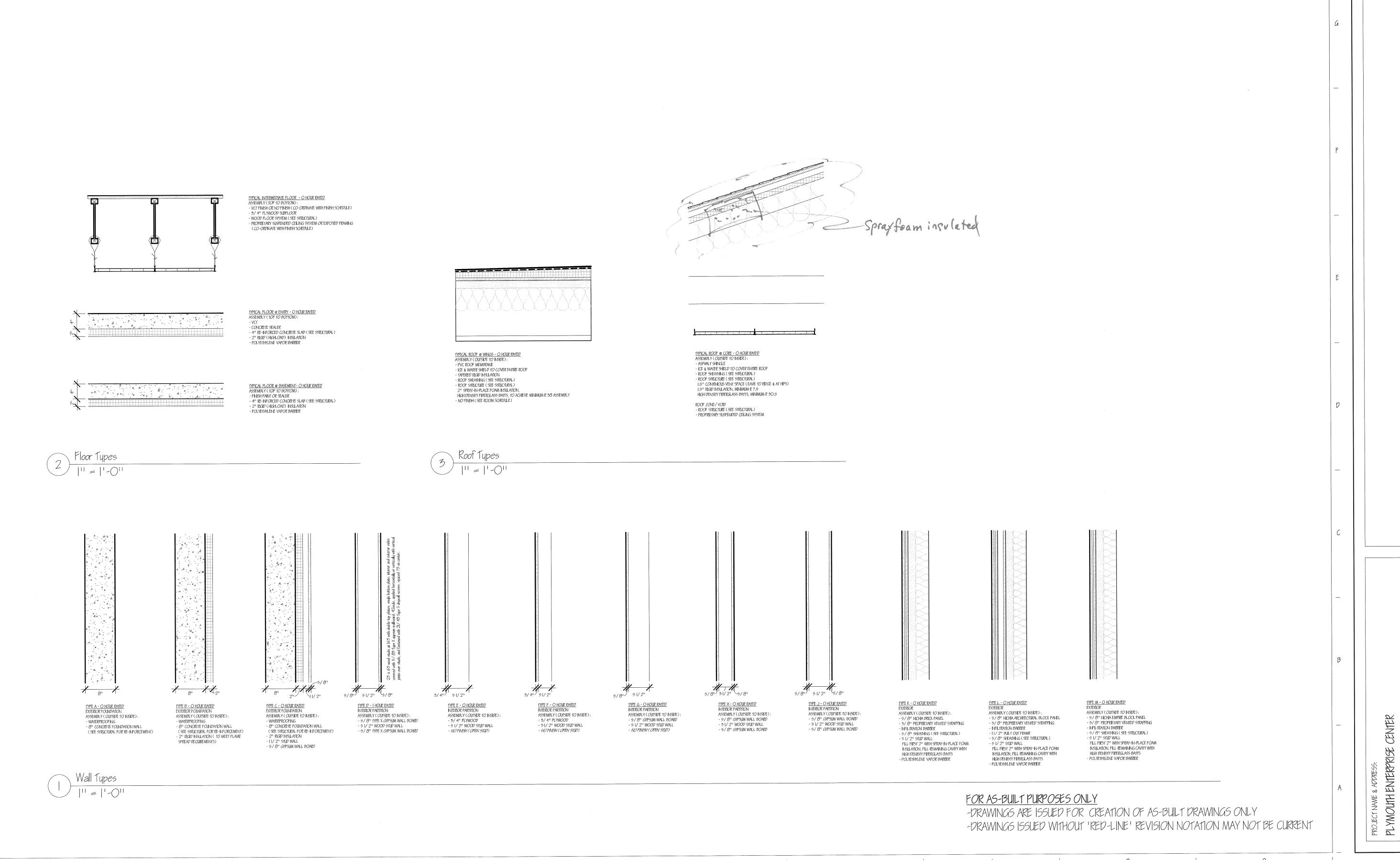
15. ALL ROUGH OPENINGS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURING OR ORDERING OF ALL DOOR, WINDOW, EQUIPMENT OR OTHER BUILDING PRODUCTS.

16. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH NEPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS. 17. EMERGENCY LIGHTING TO BE PROVIDED IN ACCORDANCE WITH

18. ENTIRE BUILDING TO BE SPRINKLERED IN ACCORDANCE WITH NFPA 13. DRAWINGS, DESIGN AND SPEC TO BE PROVIDED PRIOR TO INSTALLATION.

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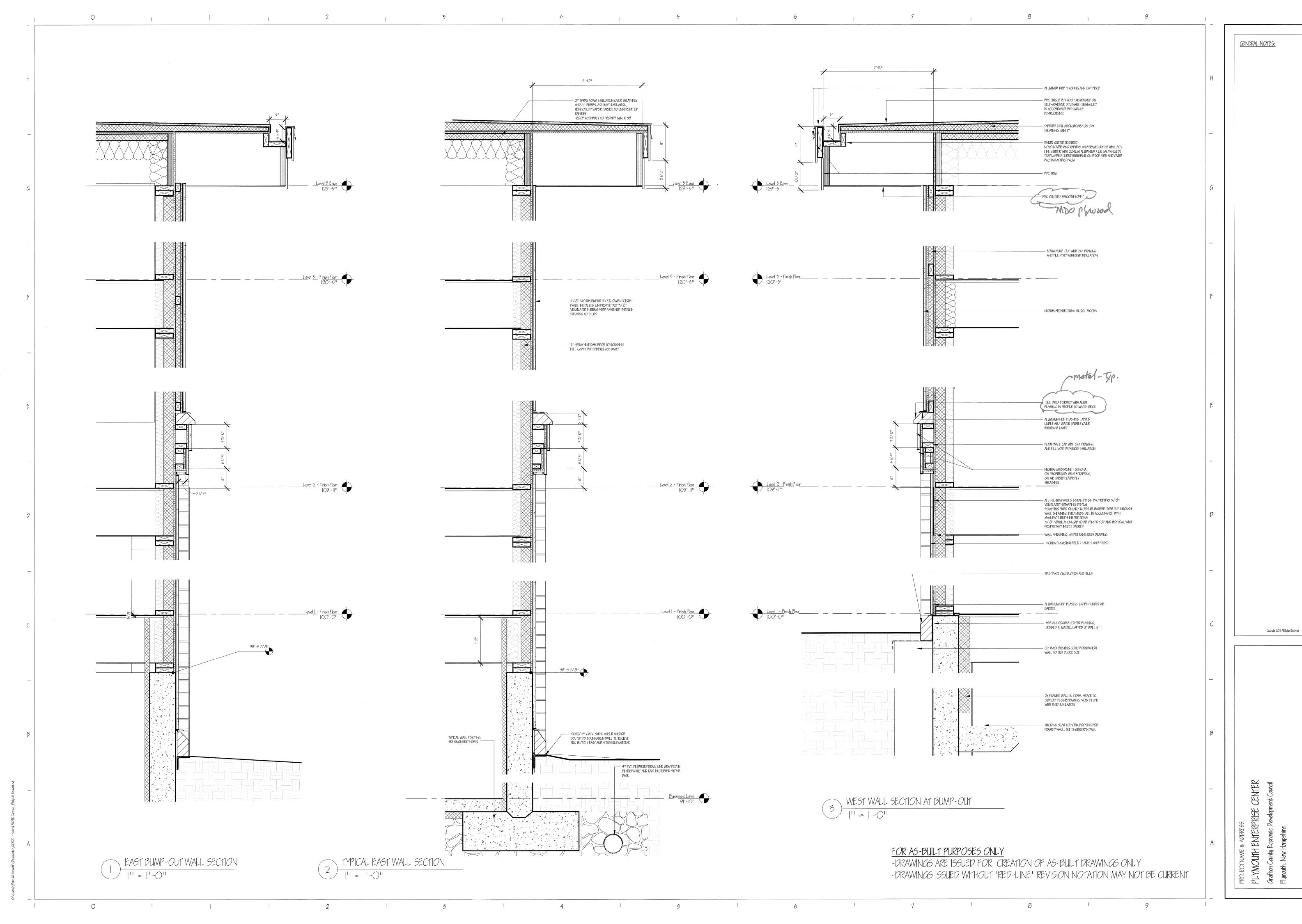
BUILDING



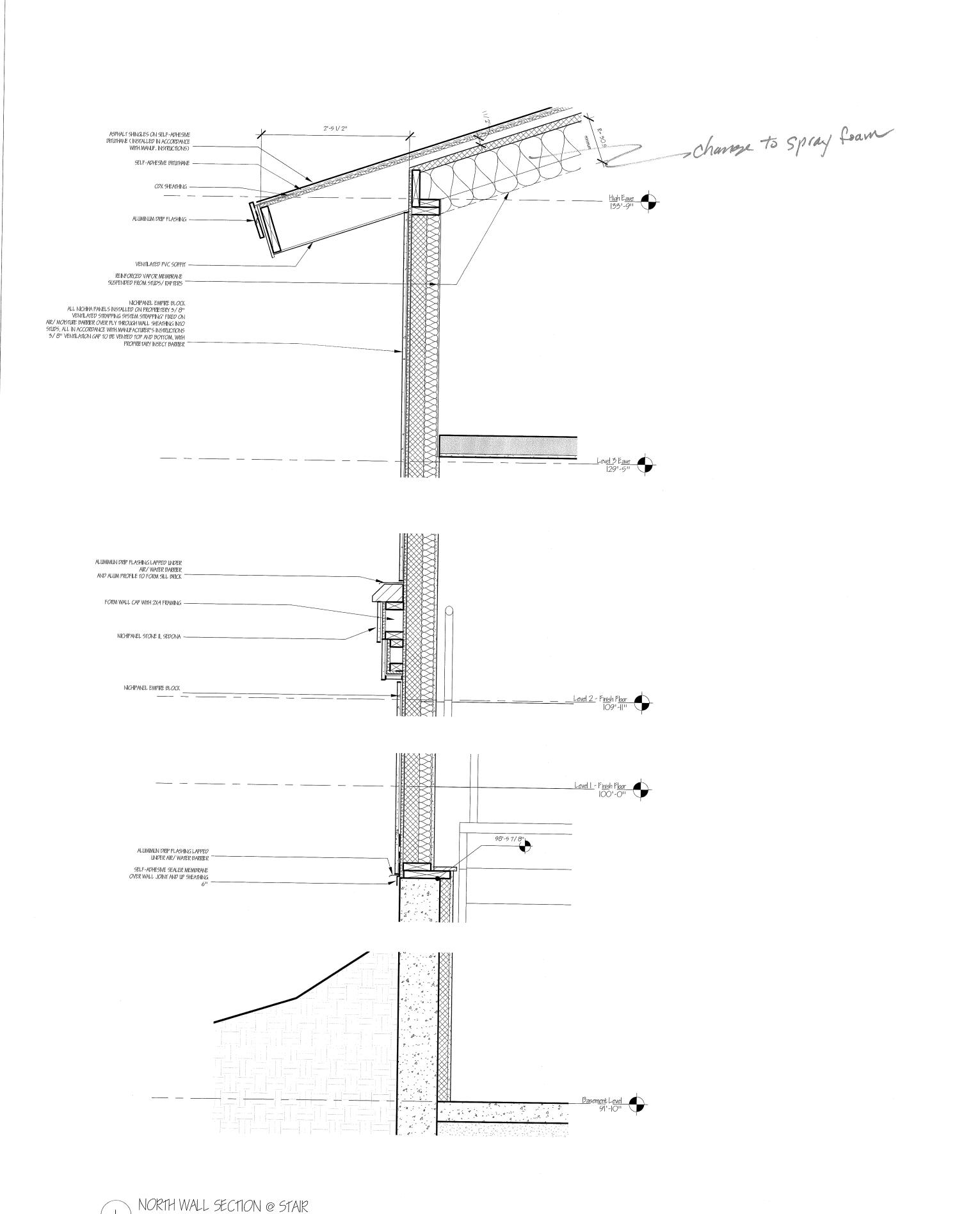
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GENERAL NOTES:



<u>~</u> SECTIONS WALL

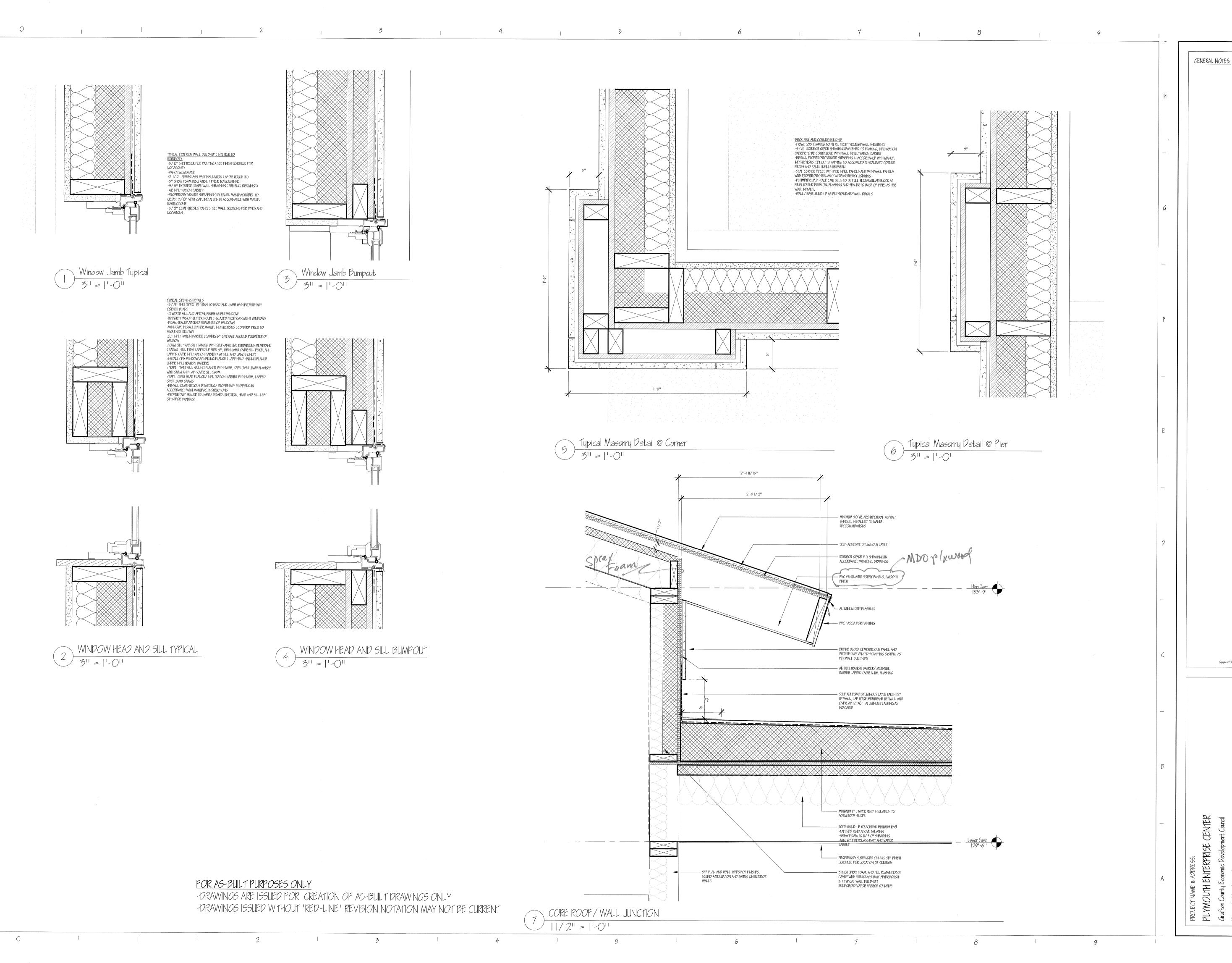


-- NICHIHA EMPIRE BLOCK SANDSTONE II SEDONA — NICHIHA PLYMOUTH BRICK, CRIMSON (PANELS AND PIERS) East Elevation working notes $\frac{2}{1/8!!} = 1! - 0!!$ SEE SK-5

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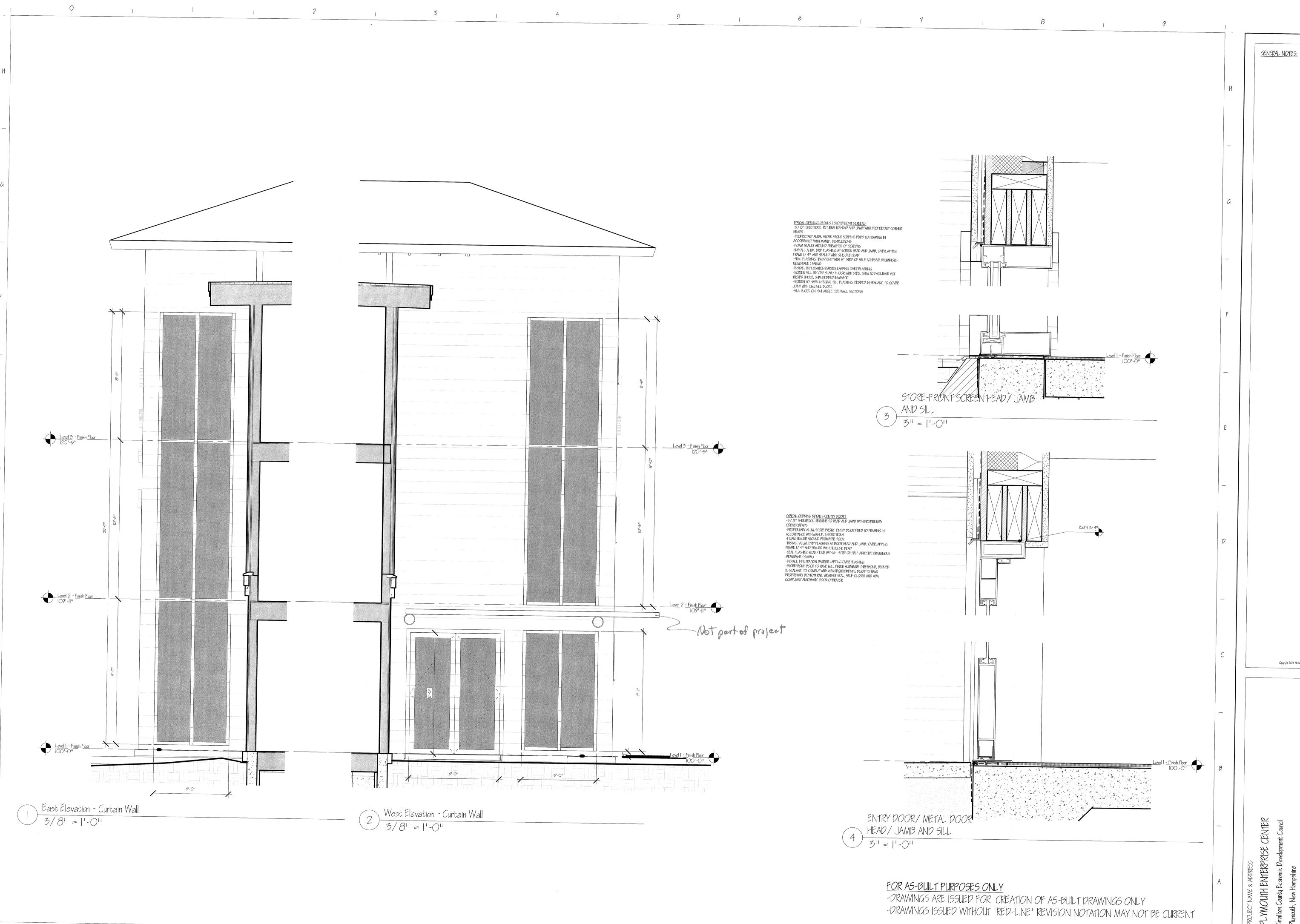
GENERAL NOTES:

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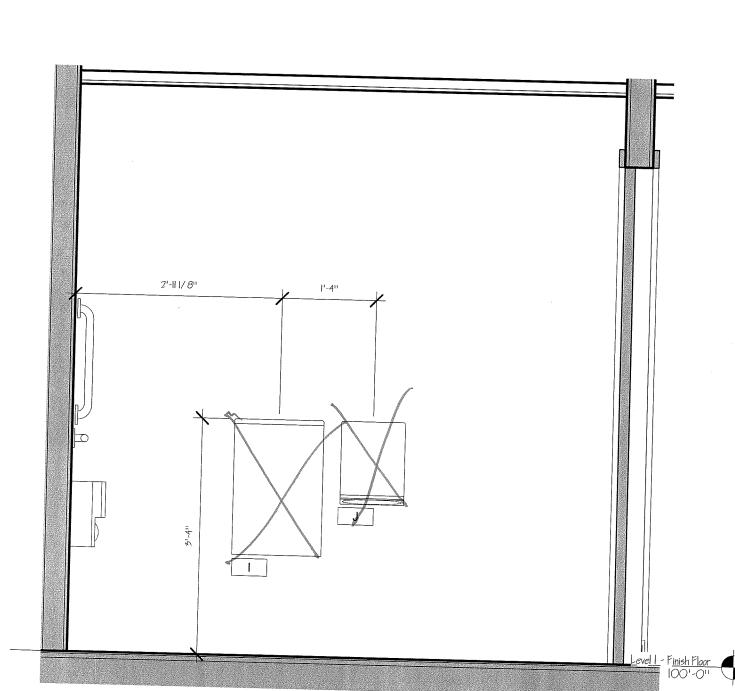


EXTERIOR DETAILS

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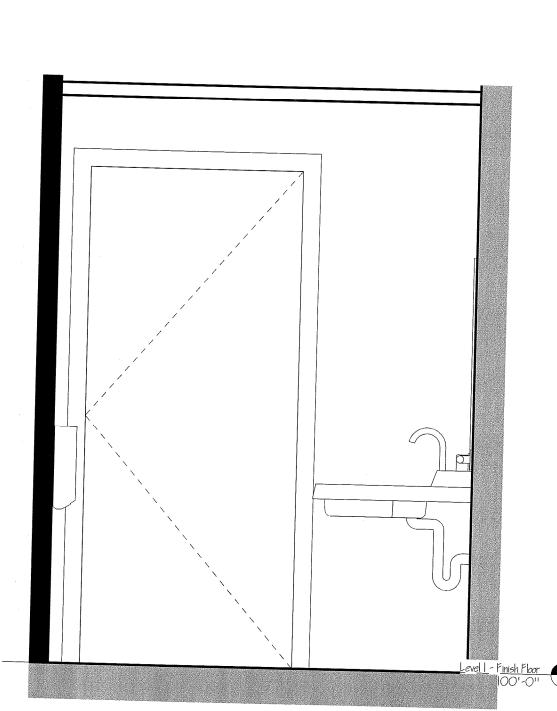
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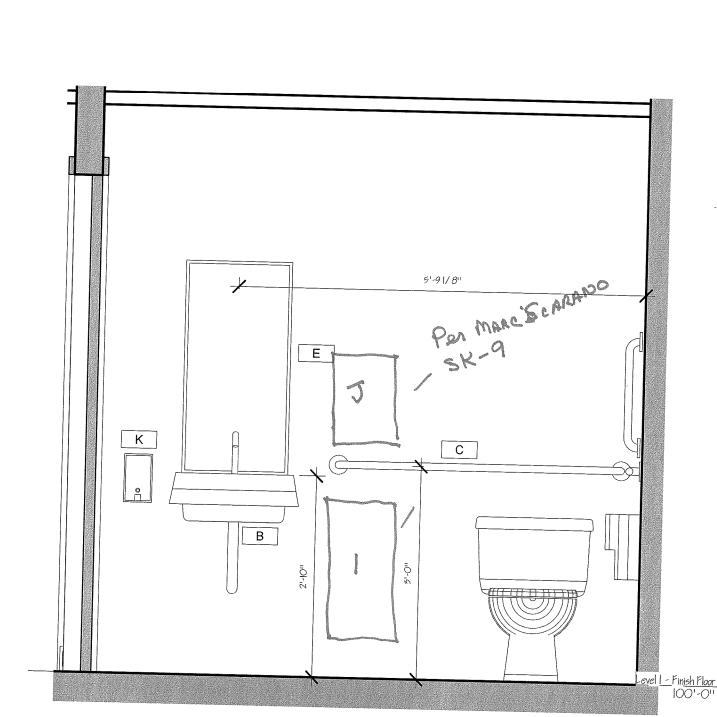
e Mark Manufacturer		Bathroom Fixtures And Accessories-Per Bathroom				
e Mark Manufacturer	Model	Description				
V II		v Osci i piloti	Tupe Comments	Comments	Grab Bar Material	Grab Bar L
Kohler	K-3999	Highline Class 5 Tollet, 2 Piece Elongated Bowl Church Commercial 295CT				_ Glabball
Kohler	K-2032	Greenwich Wall Mount, 4" Centers		ADA compliant		
Bobrick Washroom Equipment, Inc.	B-5806 Series	11/4" Diameter Stainless Steel Grab Bars with Snap Flange		ADA compliant		
Bobrick Washroom Equipment, Inc.	B-5806 Series	11/4" Diameter Stainless Steel Grab Bars with Snap Flange	Satin Finish	ADA Compliant	Stainless Steel-Bobrick-Satin	4'-0"
Bobrick Washroom Equipment, Inc.	B-165 Series	Class Mirror with Stainless Steel Angle Frame	Satin Finish	ADA Compliant	Stainless Steel-Bobrick-Satin	
Bobrick Washroom Equipment, Inc.	3-270	Surface-Mounted Sanitary Napkin Disposal	Satin Finish	ADA Compliant	Trainiess Aeer-Dobrick-Datin	1'-6"
Bobrick Washroom Equipment, Inc.	B-2888	Surface-Mounted Multi-Roll Toilet Tissue Dispenser	Satin Finish	ADA Compliant		
Bobrick Washroom Equipment, Inc.	B-22I	Classic Series Surface Mounted Seat Cover Dispenser	Satin Finish	ADA Compliant		
Bobrick Washroom Equipment, Inc.	B-277 ConturaSeries	Surface-Mounted Waste Receptacle	Satin Finish	ADA Compliant		
Bobrick Washroom Equipment, Inc.	B-262 ClassicSeries		Satin Finish			
Bobrick Washroom Equipment, Inc.	B-2111	Surface-Mounted Paper Towel Dispenser Classic Series Surface Mounted Soap Dispenser	Satin Finish	ADA Compliant ADA Compliant		

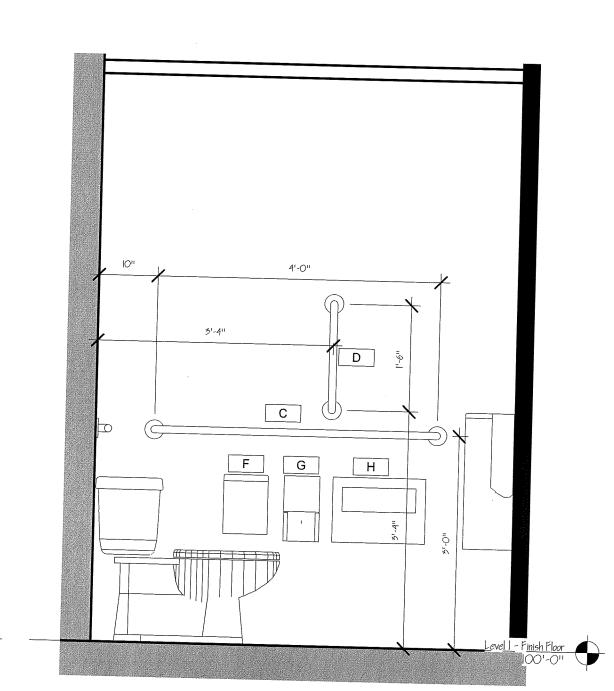




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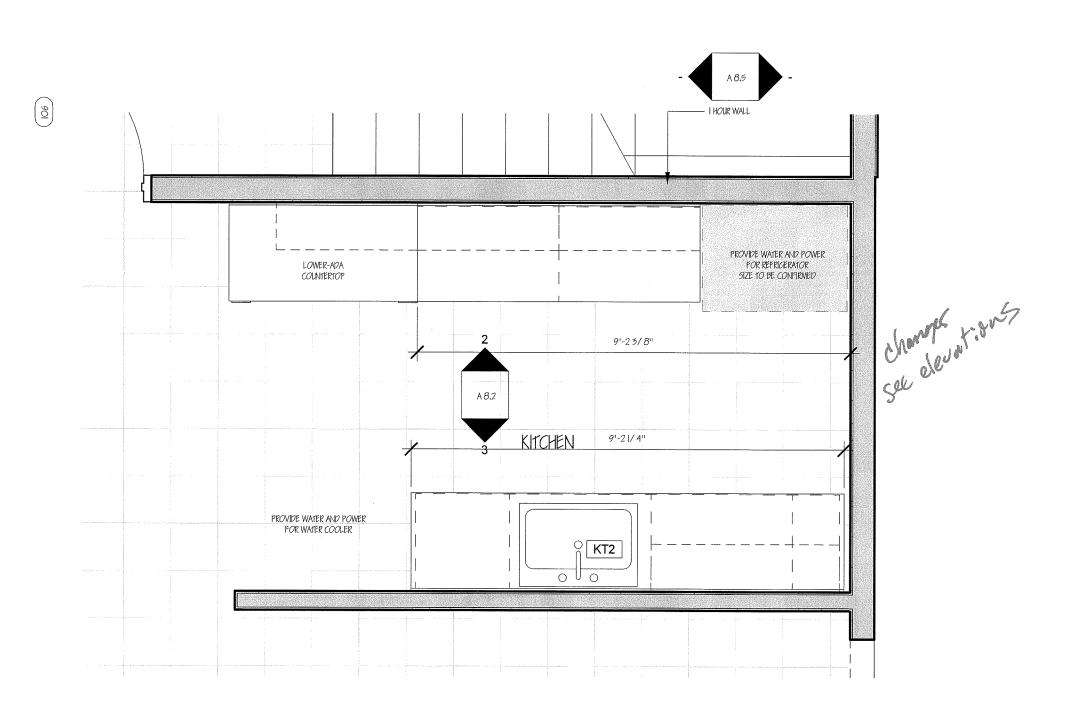
A B.I

- BATHROOMS

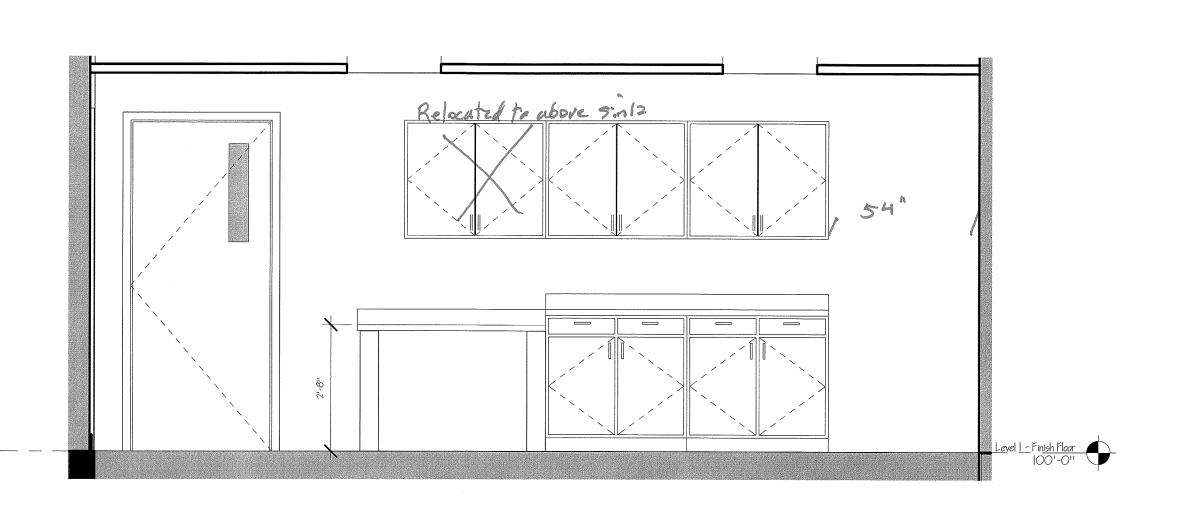
INTERIOR DETAILS

GENERAL NOTES:

KITCHEN FIXTURES Type Mark Manufacturer Stainless Steel 22 Gauge Top Mount

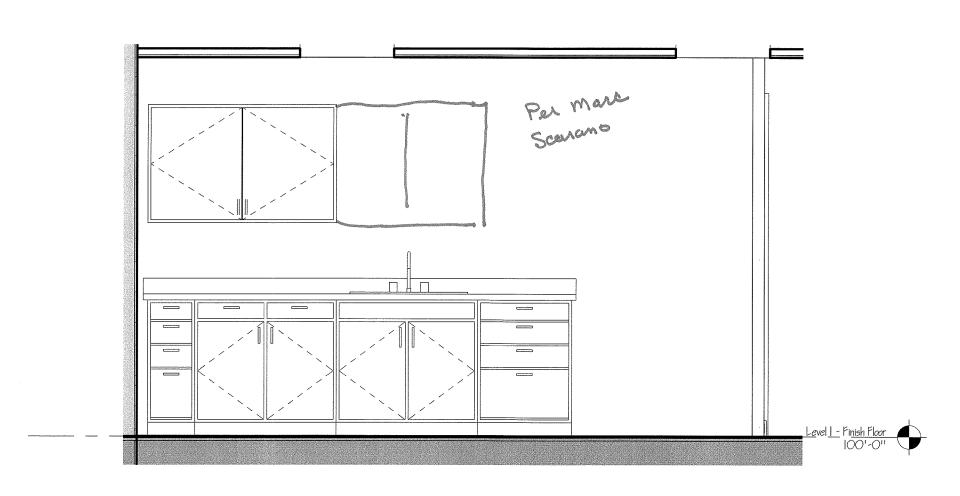


 $\frac{\text{Kitchen Layout}}{1/2" = "-0"}$

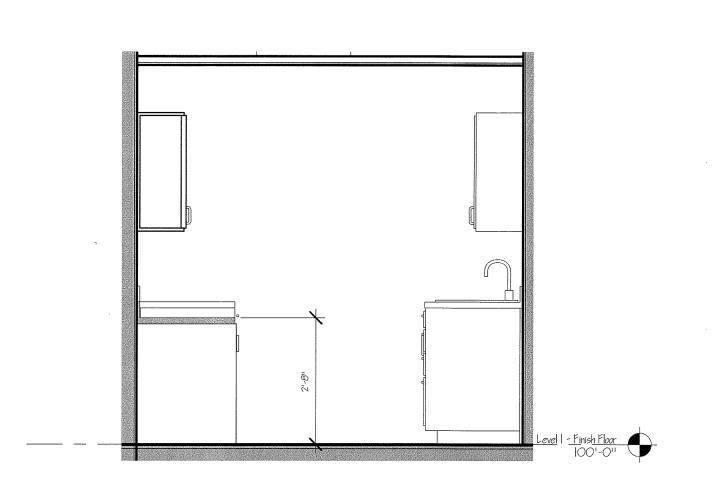


2 KITCHEN NORTH WALL

1/2" = 1'-0"



| KITCHEN SOUTH WALL | 1/2" = 1'-0"



5 KITCHEN/FOUNTAIN

5 1/2" = 1'-0"

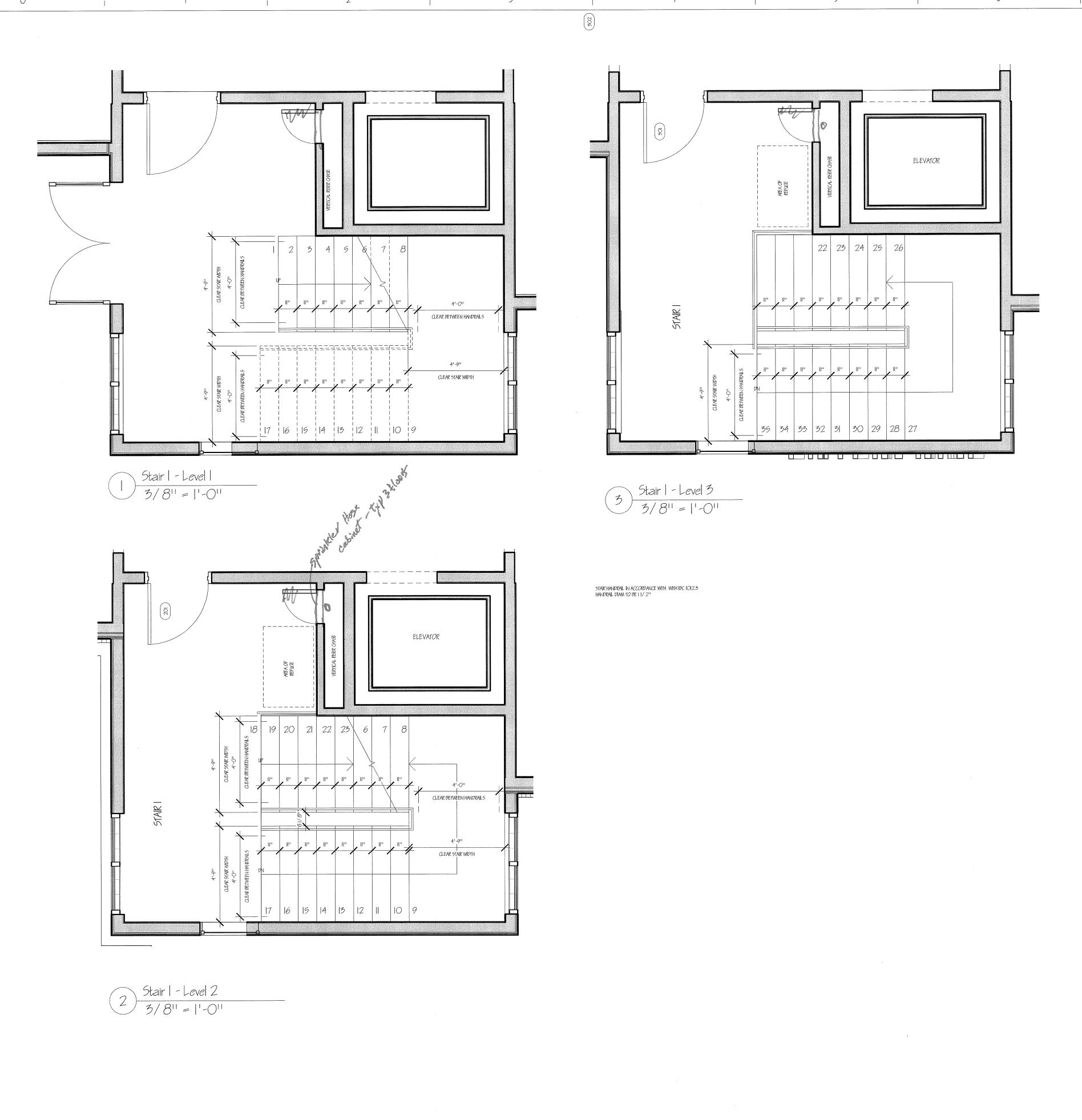
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82 KTCHEN INTERIOR DETAILS

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GENERAL NOTES:



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GENERAL NOTES:

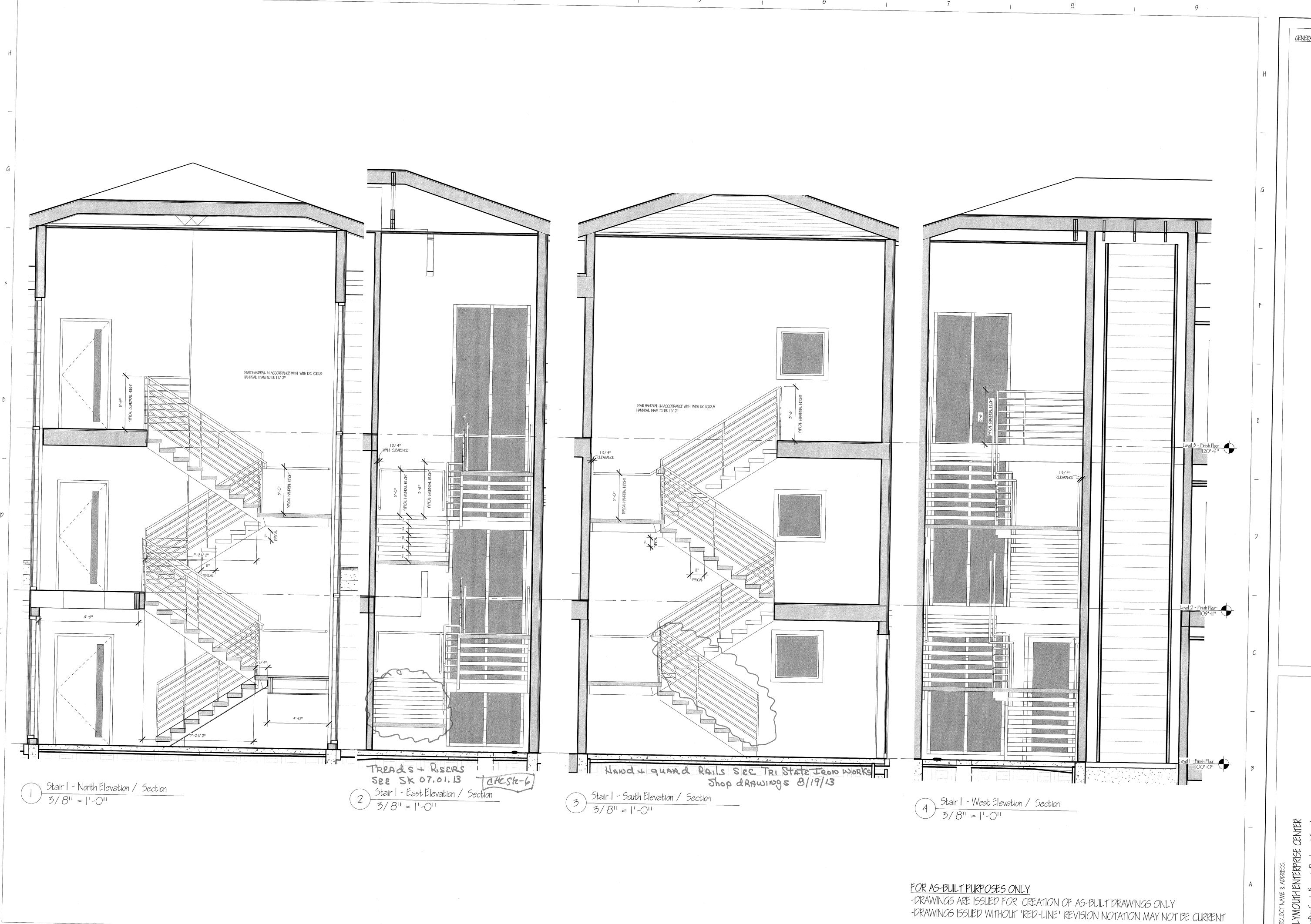
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8

STAIR I

INTERIOR DETAILS

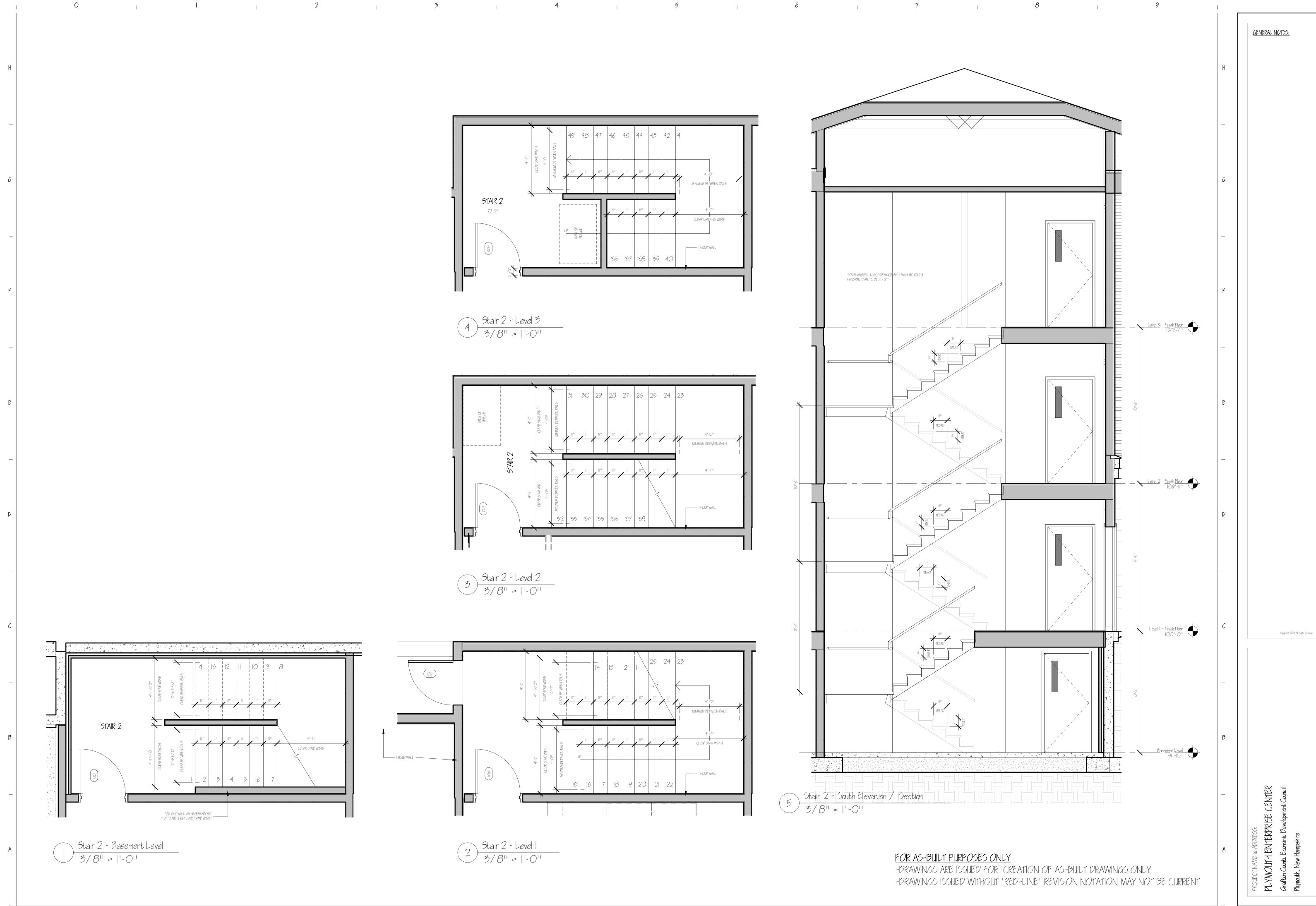
PROJECT NAME & ADDRESS.
PLYMOUTH ENTERPR



A 8,4

STAIR I

INTERIOR DETAILS



 $\frac{\omega}{\bar{c}}$ \forall STAIR 2 INTERIOR DETAILS

GENERAL NOTES:

						Room Finish Sch	1edule		,			
				Floor		Wall		Ceili	nq			
Level	Name	Area	Floor Material	Floor Finish	Base Finish	Wall Material	Wall Finish	Ceiling Material	Ceiling Finish	Crown	Comments	
asement Level	BASEMENT HALL	159 SF	Concrete	Sealer		Exposed Studs / Sheetrock	- / Painted	Exposed Structure	-	-		
asement Level	ELEV MACHINE	59 SF	Concrete	Sealer	-	Sheetrock	Painted	Sheetrock	Painted			
asement Level	ELEV PIT	45 SF	Concrete	Sealer	-	Sheetrock	Painted		-			
asement Level	MECH	389 SF	Concrete	Sealer	-	Plywood	Painted	Sheetrock	Painted	-		
asement Level	STAIR 2	165 SF	Concrete	Sealer	Rubber Cove	Sheetrock	Painted	-	-			
asement Level	TENANT STORAGE	1198 SF	Concrete	Sealer	-	Exposed Studs / Exposed Insulation	-	Exposed Structure	-	-		
asement Level: 6		2015 SF										
evel I - Finish Floor	ADA WC	46 SF	VCT	Sealer	Rubber Cove	Blueboard	Painted	2 x 2 Dropped Tile		-		
evel 1 - Finish Floor	ADA WC	46 SF	VCT	Sealer	Rubber Cove	Blueboard	Painted	2 x 2 Dropped Tile		-		
evel 1 - Finish Floor	CIRCULATION	335 SF	VCT	Sealer	Rubber Cove	Sheetrock	Painted	2 x 2 Dropped Tile				
evel I - Finish Floor	CONFERENCE	470 SF	Exposed Sheathing	-	-	Exposed Studs	-	Exposed Structure	-	-		
evel I - Finish Floor	ENTRY / STAIR I	255 SF	VCT	Sealer	Rubber Cove	Sheetrock	Painted	-	-	-		
evel I - Finish Floor	FOCUS & OFFICE	469 SF	Exposed Sheathing	-	-	Exposed Studs	-	Exposed Structure	-			
evel 1 - Finish Floor	INCUBATOR OFFICE I	1226 SF	Exposed Sheathing	-	-	Exposed Studs	-	Exposed Structure •	-	-		
evel I - Finish Floor	JAN	19 SF	VCT	Sealer	Rubber Cove	Blueboard	Painted	2 x 2 Dropped Tile		_	rubber treads	
evel 1 - Finish Floor	KITCHEN	107 SF	VCT	Sealer	Rubber Cove	Blueboard	Painted	2 x 2 Dropped Tile		-		
evel 1 - Finish Floor	MECH	39 SF	Exposed Sheathing	-	-	Plywood	Painted	Exposed Structure	-		rubber treads	
evel 1 - Finish Floor: 10		3011 SF										
evel 2 - Finish Floor	ADA WC	46 SF	Exposed Sheathing		-		-	Exposed Structure	-			
evel 2 - Finish Floor	ADA WC	46 SF	Exposed Sheathing	-		-	- :	Exposed Structure	-	-		
evel 2 - Finish Floor	CIRCULATION	272 SF	Exposed Sheathing			Exposed Studs	-	Exposed Structure	-			
evel 2 - Finish Floor	MECH	60 SF	Exposed Sheathing	-	-	Plywood	Painted	Exposed Structure	-	-		
evel 2 - Finish Floor	RENTED SPACE-EAST	1226 SF	Exposed Sheathing	-		Exposed Studs	-	Exposed Structure	-		walls finish core side only	
evel 2 - Finish Floor	RENTED SPACE-WEST	939 SF	Exposed Sheathing	-	-	Exposed Studs		Exposed Structure		-	walls finish core side only	
evel 2 - Finish Floor	STAIR I	255 SF	VCT	Sealer	Rubber Cove	Sheetrock	Painted	-	-		rubber treads	
evel 2 - Finish Floor	STAIR 2	178 SF	VCT	Sealer	Rubber Cove	Sheetrock	Painted	-	_	-	rubber treads	
evel 2 - Finish Floor: 8		3022 SF										
evel 3 - Finish Floor	ADA WC	46 SF	VCT	Sealer	Rubber Cove	Blueboard	Painted	2 x 2 Dropped Tile		-		
evel 3 - Finish Floor	ADA WC	46 SF	VCT	Sealer	Rubber Cove	Blueboard	Painted	2 x 2 Dropped Tile		-		
evel 3 - Finish Floor	ANCHOR TENANT	2622 SF	Exposed Sheathing	-	-	Exposed Studs	-	Exposed Structure	-	-		
evel 3 - Finish Floor	MECH	60 SF	Exposed Sheathing	-	-	Plywood	Painted	Exposed Structure	-	-		
evel 3 - Finish Floor	STAIR I	255 SF	VCT	Sealer	Rubber Cove	Sheetrock	Painted	Sheetrock	Painted	-	rubber treads	
	4 · · · · · · · · ·		VCT	Sealer	Rubber Cove	Sheetrock	Painted	Sheetrock	Painted	1	rubber treads	

											Window S	Schedule								
				Fran	ne Size	Jamb			Exterior			Interior		0	ilass		Haro	dware		
lark	Manufacturer	Model	Operation	Width	Height	Depth	Head Height	Ext Material	Ext Color	Ext Finish	Int Material	Int Color	Int Finish	Glass Type	Divided Lites	Screen	Hardware Type	Hardware Finish	Comments	
	Marvin Integrity	All Ultrex	Fixed	3'-0"	5'-6"		8'-0"	Ultrex	Bronze		Wood	-	Stain	Lot 366	see elevations	none	none	-	sheetrock returns / wood sill	
	Marvin Integrity	All Ultrex	Fixed	3'-0"	3'-0"			Ultrex	Bronze	-	Wood	-	Stain	LoE 366	see elevations	none	none	-	sheetrock returns / wood sill	
	Marvin Integrity	All Ultrex	Fixed	3'-0"	5'-6"		8'-0"	Ultrex	Bronze	-	Wood	-	Stain	LoE 366	see elevations	none	none	-	sheetrock returns / wood sill	
	Marvin Integrity	All Ultrex	Fixed	3'-0"	4'-6"		7'-0"	Ultrex	Bronze	_	Wood	-	Stain	LOE 366	see elevations	none	none	-	sheetrock returns / wood sill	
	Marvin Integrity	All Ultrex	Fixed	3'-0"	3'-0"		7'-2"	Ultrex	Bronze	-	Wood	-	Stain	LOE 366	see elevations	none	none	-	sheetrock returns / wood sill	

FOR TENANT SPACE dooRS SEE COBBHILL DRAWING 8-12 AL.O

													Door Schedule									
					Faracc Hardwara			Door Size	Door Size	Door Size		V. 1100	Exterior	Exterior	Exterior		Interior	Interior	Interior	Hardware	Hardware	
Mark	Interior / Exterior	Room	Operation (Fire Rating	Egress Hardware Reguired	Manufacturer	Model		Height		Jamb Depth Fr	rame Material	Ext. Material	Ext. Color	Ext. Finish	Core	Int. Material	Int, Color	Int, Finish	Hardware Type	Hardware Finish	Comments
7 IOI IX	moorto, y processor								la													
Level													1		1	1			р			
	Interior	Stair 2	Single Swing	lhr	Yes			3'-0"		13/4"	Meta		Steel Skin		Painted	Honeycomb	Steel Skin		Painted			
	Interior	Mechanical	Single Swing		No					13/4"	Meta		Steel Skin		Painted	Honeycomb	Steel Skin		Painted			
	Interior	Elevator Machine	Single Swing	lhr	No			3'-0"	6'-8"	13/4"	Meta	a	Steel Skin		Painted	Honeycomb	Steel Skin		Painted			
	Interior	Tenant Storage	Framed Opening		No			0"	0"										B			
	Interior	Elevator Machine	Single Swing	1hr	No			3'-0"	6'-8"	13/4"	Meta	al	Steel Skin		Painted	Honeycomb	Steel Skin		Painted			
Finish Floor																						<u>.</u>
	Exterior	Stair I	Double Swing		Yes			6'-0"		13/4"	Meta											
et en e	Exterior	Stair 2	Single Swing		Yes			3'-0"		13/4"	Meta					Honeycomb					Automosy.	
	Interior	Stair I	Single Swing		Yes			3'-6"		13/4"	Meta		Birch		Stained	Honeycomb	Birch		Stained			
	Interior	Focus & Office	Single Swing		No			3'-6"	7'-0''	13/4"	Meta	al	Birch		Stained	Honeycomb	Birch		Stained			
	Interior	Conference	Framed Opening					O''	O''										P			
	Interior	Stair 2	Single Swina	lhr	Yes			3'-O''		13/4"	Meta		Birch		Stained	Honeycomb	Steel Skin		Painted			
	Interior	Mechanical	Single Swing		No			3'-0"	7'-0"	13/4"	Mete		Birch		Stained	Honeycomb	Birch		Stained			
	Interior	ADA WC	Single Swing		No			3'-O''		13/4"	Meta		Birch		Stained	Honeycomb	Birch		Stained			
	Interior	ADA WC	Single Swing		No			3'-0"		13/4"	Meta		Birch		Stained	Honeycomb	Birch		Stained			
	Interior	Janitor	Single Swing		No			3'-0"		13/4"	Meta		Birch		Stained	Honeycomb	Birch		Stained			
	Interior	Incubator Office	Single Swing		No			3'-0"	7'-0"	13/4"	Meta	al	Birch		Stained	Honeycomb	Birch		Stained			
2 - Finish Floo	r																	T				
	Interior	Stair I	Single Swing		Yes			3'-O''	7'-0"	13/4"	Meta	a	Birch		Stained	Honeycomb	Birch		Stained			
	Interior	Rented Space West	t Framed Opening		No			0"	0"													
	Interior		t Framed Opening		No			0"	O''										N 1			
	Interior	Stair 2	Single Swing	Ihr	Yes			3'-0"	7'-0"	13/4"	Meta	al	Birch		Stained	Honeycomb	Steel Skin		Painted			
3 - Finish Floo	r															1						
	Interior	Stair I	Single Swing		Yes			3'-0"	7'-0"	13/4"	Meta	al	Birch		Stained	Honeycomb	Birch		Stained			,
	Interior	Anchor Tenant	Framed Opening		No			O''	0"													
	Interior	Anchor Tenant	Framed Opening		No			0"	O''										ю			
	Interior	Stair 2	Single Swing	lhr	Yes			3'-0"	7'-0"	13/4"	Meta	al	Birch		Stained	Honeycomb	Steel Skin		Painted			Addition .
	Interior	ADA WC	Single Swing	,	No No			3'-0"	7'-0"	13/4"	Meta	ial	Birch		Stained	Honeycomb	Birch		Stained			
	Interior	ADA WC	Single Swing		No			3'-0"	7'-0"	13/4"	Meta	al	Birch		Stained	Honeycomb	Birch		Stained			
3	Interior	Mechanical	Sinale Swina		No			3'-0"	7'-0"	13/4"	Meta	tal	Birch		Stained	Honeycomb	Steel Skin		Painted			

<u>FOR AS-BUILT PURPOSES ONLY</u> -DRAWINGS ARE ISSUED FOR CREATION OF AS-BUILT DRAWINGS ONLY -DRAWINGS ISSUED WITHOUT 'RED-LINE' REVISION NOTATION MAY NOT BE CURRENT

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